

DRAPER ELEMENTARY SCHOOL

908 Wahler Road, S.E., Washington, DC



INITIAL YEAR BUILT	1953
BUILDING AREA	54,000 SF
CURRENT PROGRAM CAPACITY	250
ENROLLMENT 2008	84
WARD	8
PROPOSED PROGRAM CAPACITY	325



Site Plan

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PROPOSED PROGRAM PROFILE

GRADE CONFIGURATION PK-5

Smart White Boards

Charter School Co-location

SQ. FT. (EXISTING) 54,000

SQ. FT. (ADDITION)

TYPE	PROPOSED
Pre- School	1
Pre-Kindergarten	2
Kindergarten	2
1	2
2	2
3	2
4	2
5	2
Gym	
Bleachers	
Locker Rooms	
Gym-Cafeteria	
Cafetorium	
Gym-Cafetorium	

TYPE	PROPOSED
Gym-Auditorium	
Auditorium	
Multi-Purpose	1
Cafeteria	1
Kitchen Services	1
Special Education	1
Administrative/Health Suite	1
Media Center	1
Computer Lab	1
Art	1
Music	1
Parent Resource	1

Proposed Planning Profiles

The inventory of spaces listed here is intended to outline the program of educational and support spaces necessary to support the proposed program capacity. Individual educational specifications and facility programs will be developed with the School Improvement and School Planning / Design teams at the time of project initiation.

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CONDITION ASSESSMENT



Building System	2008 Rating
ADA Compliance	Unsatisfactory
Conveying Systems	Poor
Electrical	Good
Exterior Finish	Unsatisfactory
HVAC	Fair
Interior Finish	Good
Plumbing	Fair
Roof	Good
Structure	Good
Technology	Poor

Condition Assessment

The body of information summarized below is based on a detailed facility condition assessment completed in 2006 and updated by visual observations conducted in 2007. Improvement initiatives completed by OPEFM in 2007 and 2008 are noted in red text in each section. An overall summary of work completed under various OPEFM programs is provided at the end of the condition assessment.

Condition Scorecard

These ratings reflect the overall condition and level of replacement need for an entire system, in adherence with the **Facility Condition Index (FCI) System**, categorizing systems as "Good" (FCI < .25), "Fair" (FCI 0.25 – 0.50), "Poor" (FCI 0.51 – 0.85), or "Unsatisfactory" (FCI > .86).

Comments:

1 Conveying System	There is no elevator, escalator, or lift present in the building.
2 Electrical	There is no emergency generator present. Many Panel boards are old and beyond expected service life. Many other Panel boards were upgraded or added. Lighting is in need of replacement as well.
3 Exterior Finish	The steel frames around exterior windows are rusted and leaking. Concrete stairs are crumbling and should be replaced with new construction. Exterior doors are also in poor condition and should be repaired or replaced. 2007/2008: Replaced exterior lighting. Facade Repairs completed.
4 Structure	No major deficiencies were observed. Minor cracking, typical for concrete framing, can be repaired as part of routine building maintenance.
5 HVAC	Most classrooms have a horizontal steam heater rated at 6 psi steam; these are not the original radiators. Unable to determine boiler pressure - this is a potential safety hazard if boiler is producing high pressure steam. Condensate piping appears to need replacement. Window A/C units are generally in poor condition. 2008: Repairs to boilers and classroom units. Installed 72 window A/C units with electrical upgrades.
6 Interior Finish	Many fire dangers present, especially on the stage and behind the stage. Asbestos is present in the pipe tunnels and in floor tile form. Ceiling finishes are in poor shape and should be replaced throughout. Numerous interior doors are damaged and need to be repaired. 2008: Bathrooms, Paint, Flooring and Ceiling replacement and repairs completed throughout.
7 Plumbing	There are no fire suppression systems present. Fixtures are old and do not conform to ADA guidelines. Modern fixtures should be installed. Visible piping appears to be in fair condition.
8 Roof	Roof has many leaks and should be entirely replaced. Additional flashing and drainage work is required to prevent future leaks as well. 2008: Roofing repairs completed
9 ADA Compliance	The Building has a number of ADA deficiencies regarding lack of ramps, door hardware, conveying systems etc. However, these deficiencies do not need abatement at this time since they are grandfathered.
10 Technology	Visual inspection is a limited tool for technology assessments. Generally, the equipment observed appears to be in poor condition. Upgrades should include software, networking, and dedicated climate controlled spaces to house equipment.
11 Grounds	Site drainage needs to be improved. The athletic fields require some landscaping work. Concrete appears to be in good condition. Asphalt surfaces are in fair condition. 2008: Tree removal.

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RECENT HISTORY OF MODERNIZATION

2008 STABILIZATIONS

✓	Heating Blitz - Boiler Repairs & Classroom Units
✓	Emergency Security Repair Work (Exterior Lighting Replacements)
✓	AC Window Units Installations & Electrical Upgrades

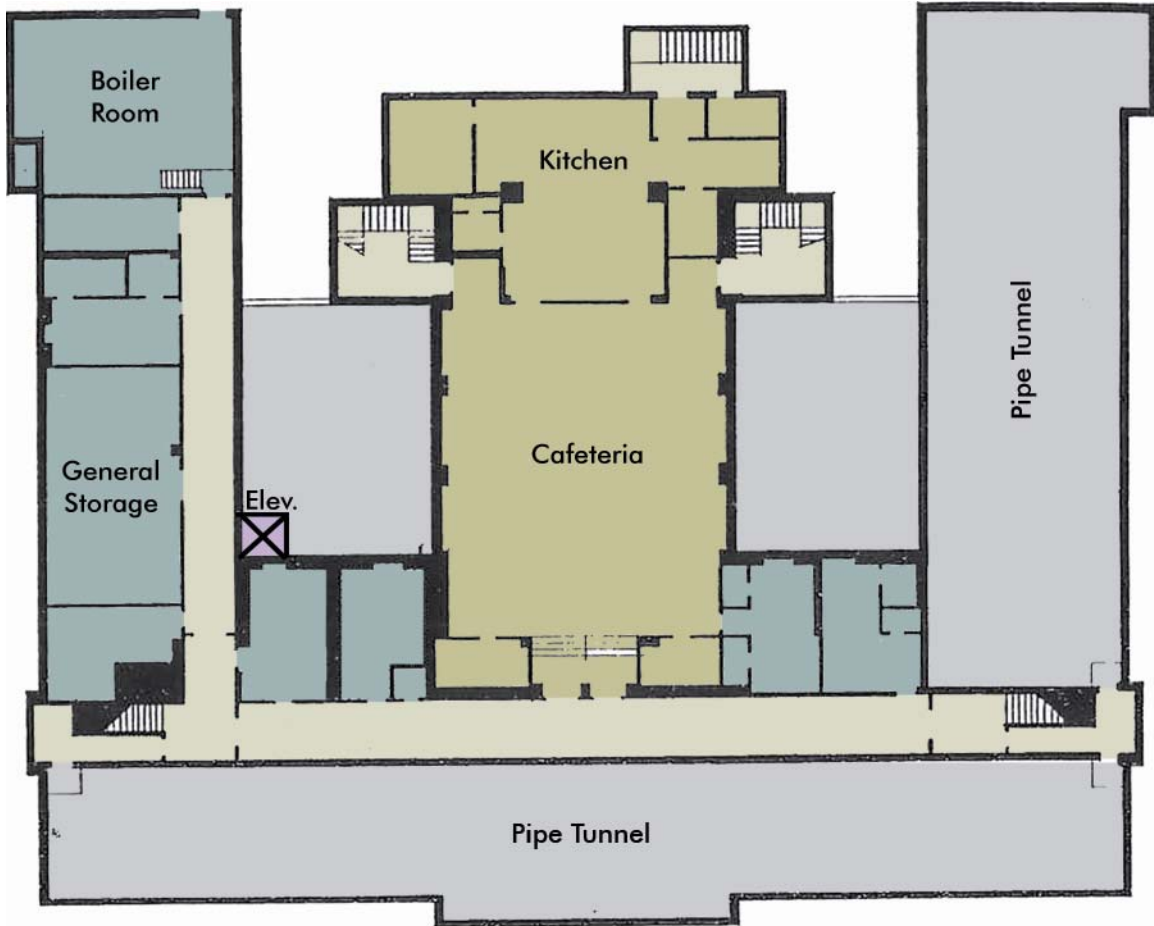
2008 SUMMER BLITZ

✓	Site Work (Concrete Masonry, Painting, Fencing)
✓	Carpentry
✓	Doors & Windows
✓	Interior Finishes - Painting/Plastering
✓	Roof Repairs/Replacement
✓	Other Work Orders
✓	Mechanical
✓	Electrical

◆ Planning
 ▼ Design
 ◆ Pre-Construction
 □ In Progress
 ✓ Completed

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Basement

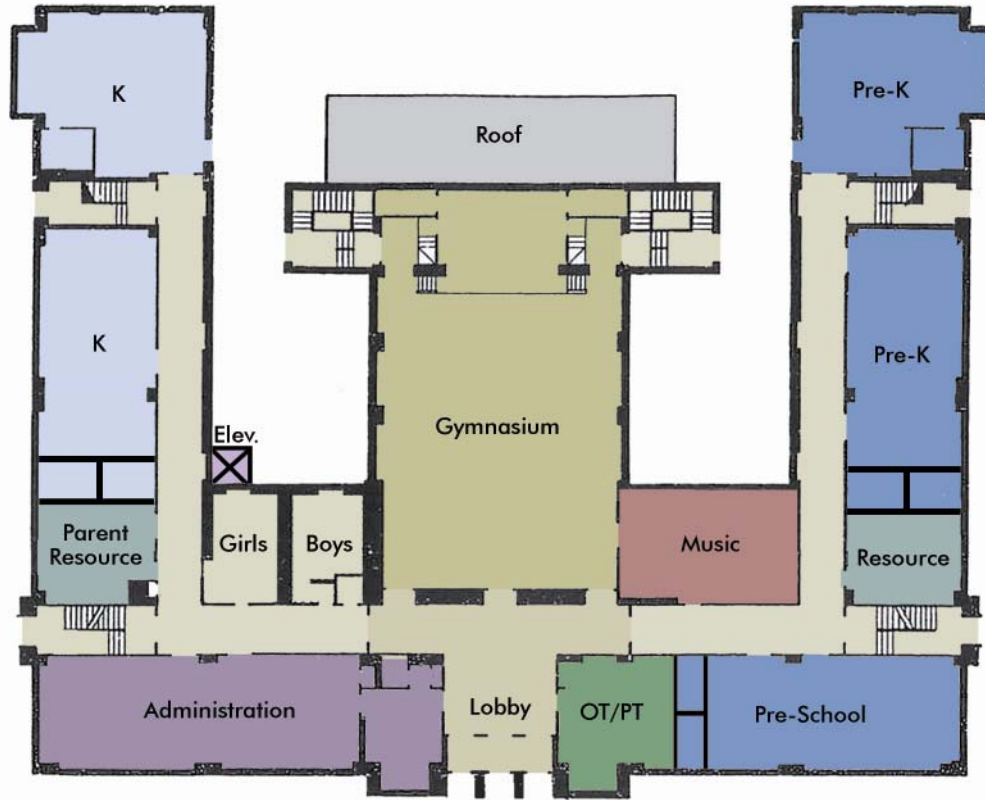
- | | |
|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
| Music/Art | Special Education |
| Science Lab | Unassigned |
| Lobby | Elevator Addition |

Concept Plans

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

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First Floor

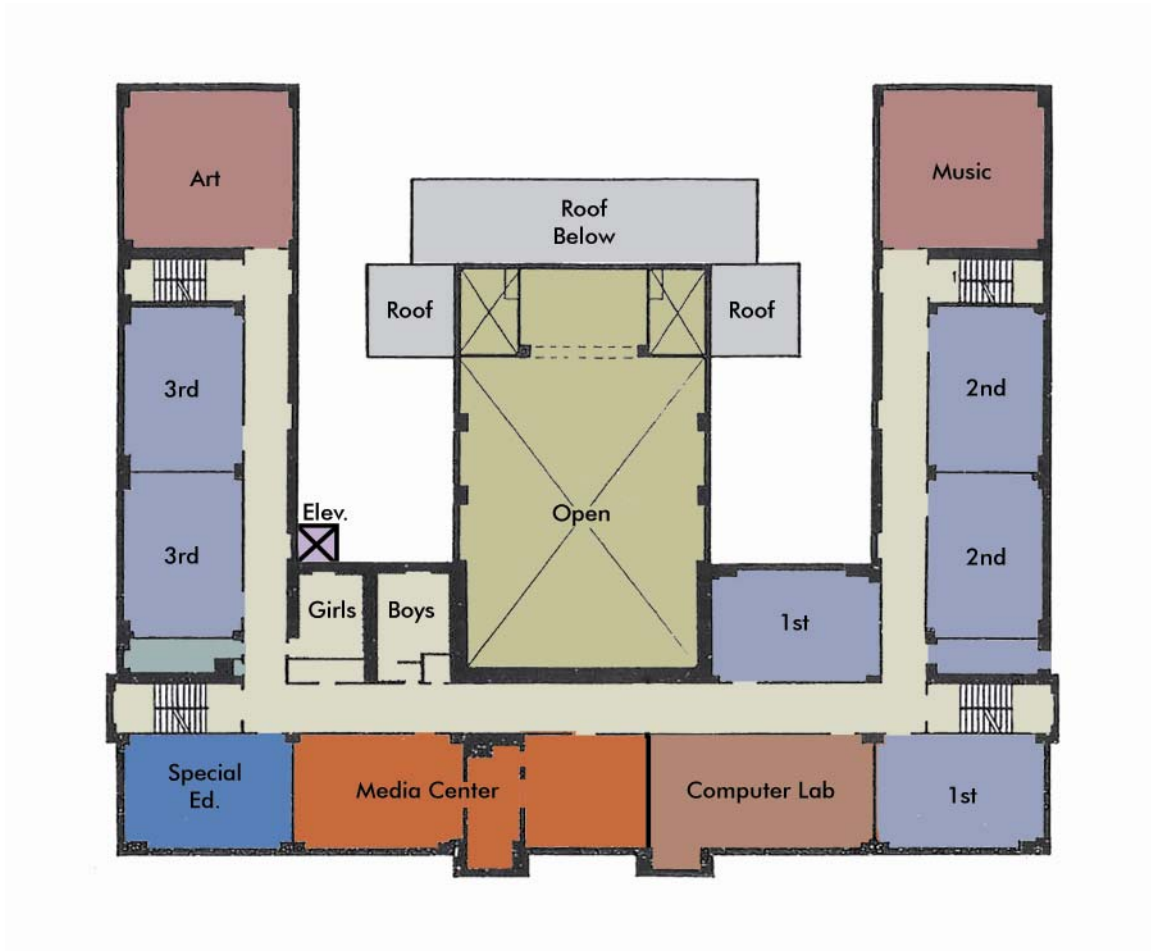
 Administration/Health	 Auditorium
 Gymnasium/Cafeteria	 Other
 Classrooms	 Media Center
 Kindergarten	 Computer Lab
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Second Floor

Administration/Health	Auditorium
Gymnasium/Cafeteria	Other
Classrooms	Media Center
Kindergarten	Computer Lab
Pre-K/Pre-School	OT/PT
Music/Art	Special Education
Science Lab	Unassigned
Lobby	Elevator Addition

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Third Floor

- | | |
|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
| Music/Art | Special Education |
| Science Lab | Unassigned |
| Lobby | Elevator Addition |

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