

# EATON ELEMENTARY SCHOOL

3301 Lowell Street, N.W., Washington, DC



<b>INITIAL YEAR BUILT</b>	1911
<b>BUILDING AREA</b>	49,100 SF
<b>CURRENT PROGRAM CAPACITY</b>	418
<b>ENROLLMENT 2008</b>	419
<b>WARD</b>	3
<b>PROPOSED PROGRAM CAPACITY</b>	400



Site Plan

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## PROPOSED PROGRAM PROFILE

<b>GRADE CONFIGURATION</b>	PK-5
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<b>SQ. FT. (EXISTING)</b>	49,100
<b>SQ. FT. (ADDITION)</b>	

TYPE	PROPOSED
Pre-School	2
Pre-Kindergarten	2
Kindergarten	3
1	3
2	3
3	2
4	2
5	2
Gym	
Bleachers	
Locker Rooms	
Gym-Cafeteria	
Cafetorium	
Gym-Cafetorium	1
Gym-Auditorium	

TYPE	PROPOSED
Auditorium	
Multi-Purpose	
Cafeteria	
Kitchen Services	1
Special Needs	2
Administrative/Health Suite	2
Media Center	1
Computer Lab	1
OT/PT	1
Science Lab	
Art	1
Music	1
Teacher Workroom	1
Parent Resource	1

### Proposed Planning Profiles

The inventory of spaces listed here is intended to outline the program of educational and support spaces necessary to support the proposed program capacity. Individual educational specifications and facility programs will be developed with the School Improvement and School Planning / Design teams at the time of project initiation.

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## CONDITION ASSESSMENT



Building System	2008 Rating
ADA Compliance	Fair
Conveying Systems	Good
Electrical	Fair
Exterior Finish	Fair
HVAC	Unsatisfactory
Interior Finish	Fair
Plumbing	Fair
Roof	Good
Structure	Good
Technology	Fair

**Condition Assessment**

The body of information summarized below is based on a detailed facility condition assessment completed in 2006 and updated by visual observations conducted in 2007. Improvement initiatives completed by OPEFM in 2007 and 2008 are noted in red text in each section. An overall summary of work completed under various OPEFM programs is provided at the end of the condition assessment.

**Condition Scorecard**

These ratings reflect the overall condition and level of replacement need for an entire system, in adherence with the **Facility Condition Index (FCI) System**, categorizing systems as "Good" (FCI < .25), "Fair" (FCI 0.25 – 0.50), "Poor" (FCI 0.51 – 0.85), or "Unsatisfactory" (FCI > .86).

**Comments:**

<b>1 Conveying System</b>	There is an elevator which appears to be in good working order.
<b>2 Electrical</b>	Electrical service was upgraded in 1981. The switchboard and circuit breaker type distribution panels are in fair condition. Electric panels are installed in corridor at each floor and are in fair condition with fairly accurate directories. Telephone system is in poor to fair condition. The electric utility room has fair lighting, poor ventilation, and a leaky ceiling hatchway. The emergency generator is in good condition. Generally, the receptacle quantities in the classrooms are inadequate with many installed in an inaccessible location. The fire alarm system and lighting throughout are in fair condition. Evidence of poor lighting is in the back of stage area and mechanical rooms. School central clock system does not work. <b>2007: Ballasts and bulbs completed.</b>
<b>3 Exterior Finish</b>	The exterior of the building is in fair condition with limited areas which need brick repointing. Window replacement has recently occurred in some areas of the building. The most severe leaking within the building occurs on the upper floors as well as areas on the first floor where windows are level with grade outdoors.
<b>4 Structure</b>	No major deficiencies were observed. Minor cracking, typical for concrete framing, can be repaired as part of routine building maintenance.
<b>5 HVAC</b>	Central heating system is the original equipment and is in poor to fair condition. Over heating in spaces controlled by opening windows. No central cooling is provided in the original building and the window units are in poor to fair condition with many not operational. Low pressure steam piping distribution is poor, but pipe insulation in boiler room is fair. Ventilation systems are inadequate or not working or missing. Central cooling is provided in the addition and is in poor to fair condition. <b>2008: Repairs to boilers, chillers and classroom units. Installed window A/C units with electrical upgrades.</b>
<b>6 Interior Finish</b>	Interiors are in need of repainting. The school received carpet in 1999. Isolated areas of flooring and ceiling tiles need to be repaired or replaced. Generally, finishes are in fair condition. <b>2007: Carpet replacement, vinyl tile replacement, classroom and corridor painting, caulking, drywall repair/replacement, fencing, door hardware,</b>

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<b>7 Plumbing</b>	<p>The sewer systems appear to be in good to fair condition, with fifteen to twenty years of service life remaining. The domestic water distribution piping is original and in poor condition, mostly galvanized and some copper. Lead contamination found in some electric water coolers; water filters are recommended until piping system is replaced.</p> <p><b>2007: Plumbing fixture, valve and water coolers repairs. 2008: Plumbing fixture and valve repairs completed.</b></p>
<b>8 Roof</b>	<p>There are large areas where the roof has slate which is falling off. If this issue is not resolved it could lead to water damage in the interior of the building as well as the possibility of slate falling from the roof and injuring a student or faculty member. It appears that there is some current roof repair going on to address this issue. <b>2008: Roof Repairs have been completed.</b></p>
<b>9 ADA Compliance</b>	<p>The building is partially compliant with ADA code requirements. Additional work to the grounds and to interior fixtures is required.</p>
<b>10 Technology</b>	<p>Data cabinets for internet interface in the utility room are in good condition. PCs and other equipment appear to be in good condition, based on visual inspection.</p>
<b>11 Grounds</b>	<p>Isolated portions of concrete need to be repaired. The playground is in poor condition and should be resurfaced. Drainage can be improved to help prevent rapid deterioration in the future.</p>

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## RECENT HISTORY OF MODERNIZATION

### 2007 TARGETED REPAIRS

✓	Interior Finishes - Door Replacements/Door Hardware Repair
✓	Interior Finishes - Drywall & Ceiling Repairs
✓	Interior Finishes - Select Carpet Replacements/Flooring Repairs
✓	Interior Finishes - Painting/Plastering
✓	Plumbing Repairs - Restrooms/Fixtures & Flush Valves; Water Fountains
✓	Electrical Repairs - Lighting & Power
✓	Mechanical Repairs - AHU & Boiler Repairs, HVAC Filter Replacement
✓	Exterior Work & Building Envelope - Lighting, Site Work, Playground, etc.
✓	Other Work Orders

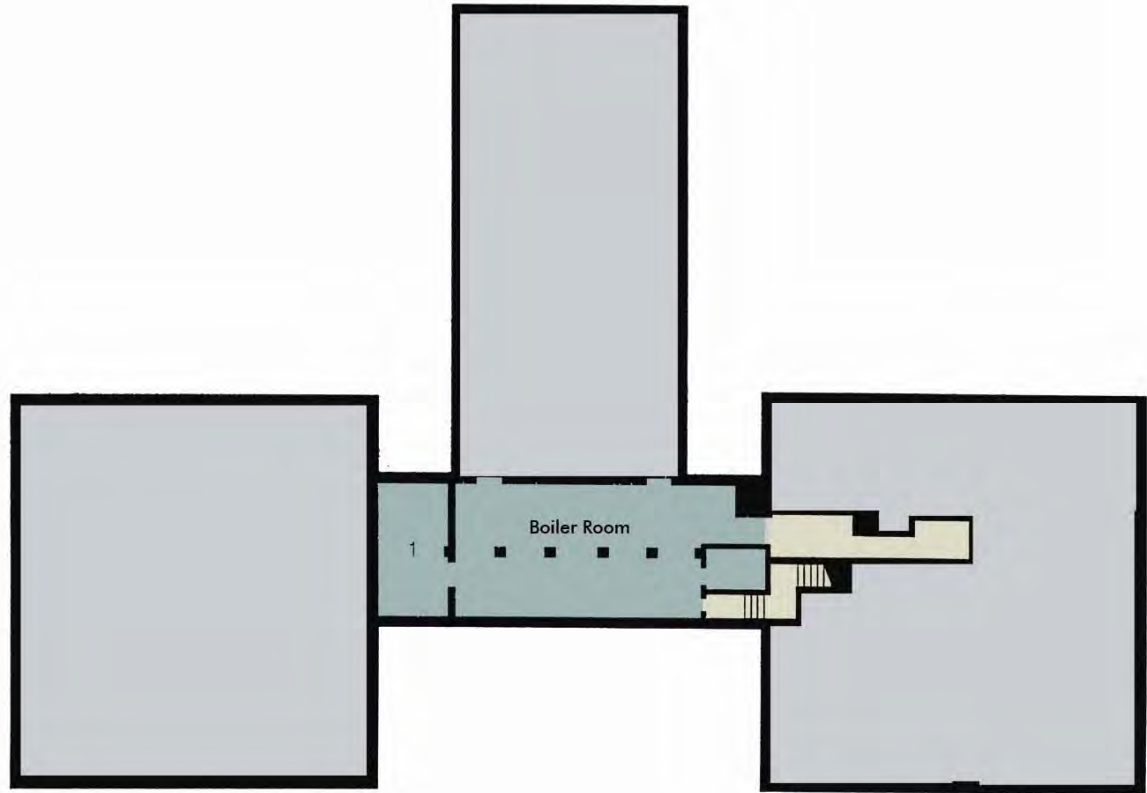
### 2008 STABILIZATIONS

✓	Heating Blitz - Boiler Repairs & Classroom Units
✓	AC Window Units Installations & Electrical Upgrades

◆ Planning    
 ▼ Design    
 ◆ Pre-Construction    
   In Progress    
 ✓ Completed

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Basement

- |                       |                   |
|-----------------------|-------------------|
| Administration/Health | Auditorium        |
| Gymnasium/Cafeteria   | Other             |
| Classrooms            | Media Center      |
| Kindergarten          | Computer Lab      |
| Pre-K/Pre-School      | OT/PT             |
| Music/Art             | Special Education |
| Science Lab           | Unassigned        |
| Lobby                 | Elevator Addition |

**Concept Plans**

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

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First Floor

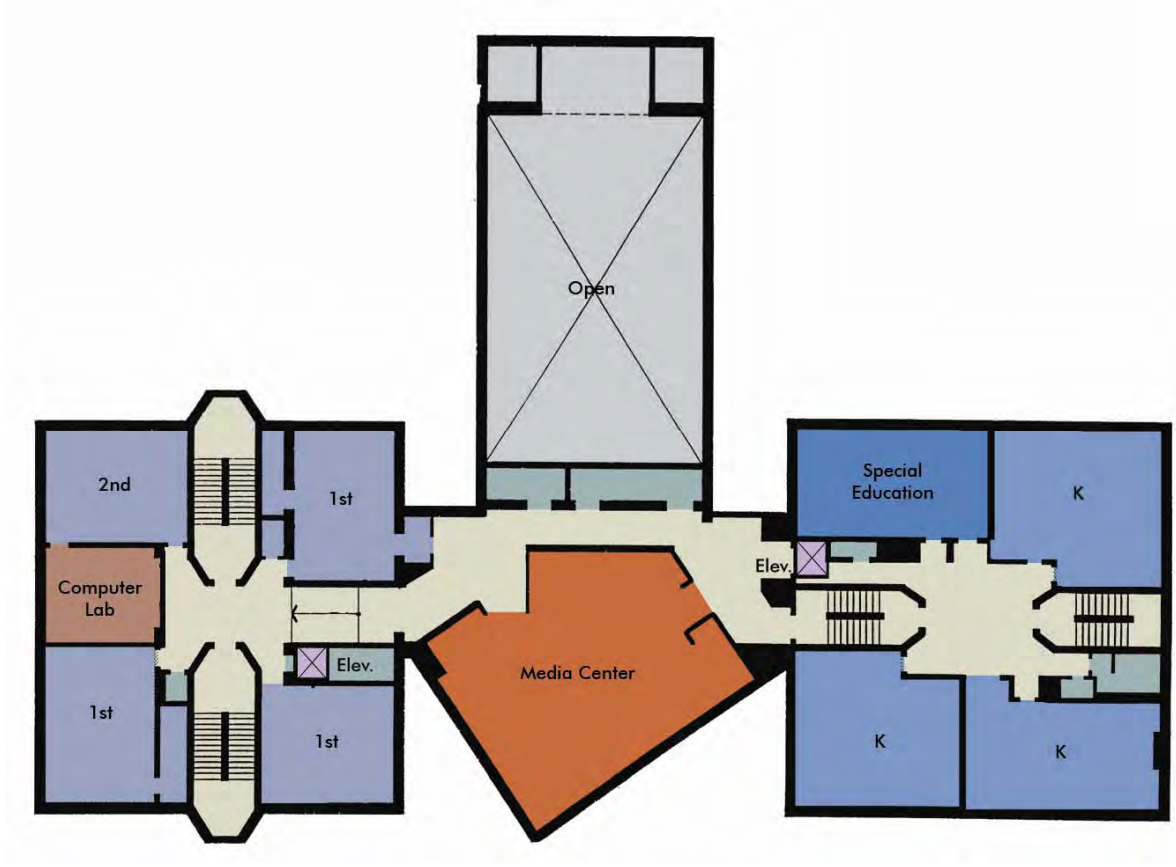
Administration/Health	Auditorium
Gymnasium/Cafeteria	Other
Classrooms	Media Center
Kindergarten	Computer Lab
Pre-K/Pre-School	OT/PT
Music/Art	Special Education
Science Lab	Unassigned
Lobby	Elevator Addition

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Second Floor

- |   |   |
|---|---|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #808080; border: 1px solid black;"></span> Administration/Health | <span style="display: inline-block; width: 15px; height: 15px; background-color: #FF8C00; border: 1px solid black;"></span> Auditorium        |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #90EE90; border: 1px solid black;"></span> Gymnasium/Cafeteria   | <span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black;"></span> Other             |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #6A5ACD; border: 1px solid black;"></span> Classrooms            | <span style="display: inline-block; width: 15px; height: 15px; background-color: #FF4500; border: 1px solid black;"></span> Media Center      |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black;"></span> Kindergarten          | <span style="display: inline-block; width: 15px; height: 15px; background-color: #8B4513; border: 1px solid black;"></span> Computer Lab      |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #4169E1; border: 1px solid black;"></span> Pre-K/Pre-School      | <span style="display: inline-block; width: 15px; height: 15px; background-color: #3CB371; border: 1px solid black;"></span> OT/PT             |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #CD5C5C; border: 1px solid black;"></span> Music/Art             | <span style="display: inline-block; width: 15px; height: 15px; background-color: #4169E1; border: 1px solid black;"></span> Special Education |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #2E8B57; border: 1px solid black;"></span> Science Lab           | <span style="display: inline-block; width: 15px; height: 15px; background-color: #9370DB; border: 1px solid black;"></span> Unassigned        |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #D2B48C; border: 1px solid black;"></span> Lobby                 | <span style="display: inline-block; width: 15px; height: 15px; background-color: #DDA0DD; border: 1px solid black;"></span> Elevator Addition |

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Third Floor

- |                       |                   |
|-----------------------|-------------------|
| Administration/Health | Auditorium        |
| Gymnasium/Cafeteria   | Other             |
| Classrooms            | Media Center      |
| Kindergarten          | Computer Lab      |
| Pre-K/Pre-School      | OT/PT             |
| Music/Art             | Special Education |
| Science Lab           | Unassigned        |
| Lobby                 | Elevator Addition |

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