

FEREBEE-HOPE ELEMENTARY SCHOOL

3999 8th Street, S.E., Washington, DC



INITIAL YEAR BUILT	1947
BUILDING AREA	193,800 SF
CURRENT PROGRAM CAPACITY	521
ENROLLMENT 2008	272
WARD	8
PROPOSED PROGRAM CAPACITY	325



Site Plan

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PROPOSED PROGRAM PROFILE

GRADE CONFIGURATION	PK-5
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Fine Arts Program

SQ. FT. (EXISTING)	193,800
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SQ. FT. (ADDITION)	
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TYPE	PROPOSED
Pre-School	1
Pre-Kindergarten	2
Kindergarten	2
1	2
2	2
3	2
4	2
5	2
Gym	2
Locker Rooms	
Gym-Cafeteria	
Cafetorium	
Gym-Cafetorium	
Gym-Auditorium	
Auditorium	

TYPE	PROPOSED
Multi-Purpose	1
Cafeteria	
Kitchen Services	1
Special Education	1
Administrative/Health Suite	1
Media Center	1
Administrative	1
Computer Lab	1
OT/PT	1
Science Lab	
Art	1
Music	1
Teacher Workroom	1
Parent Resource	1

Proposed Planning Profiles

The inventory of spaces listed here is intended to outline the program of educational and support spaces necessary to support the proposed program capacity. Individual educational specifications and facility programs will be developed with the School Improvement and School Planning / Design teams at the time of project initiation.

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CONDITION ASSESSMENT



Building System	2008 Rating
ADA Compliance	Unsatisfactory
Conveying Systems	Poor
Electrical	Fair
Exterior Finish	Fair
HVAC	Unsatisfactory
Interior Finish	Fair
Plumbing	Fair
Roof	Poor
Structure	Good
Technology	Fair

Condition Assessment

The body of information summarized below is based on a detailed facility condition assessment completed in 2006 and updated by visual observations conducted in 2007. Improvement initiatives completed by OPEFM in 2007 and 2008 are noted in red text in each section. An overall summary of work completed under various OPEFM programs is provided at the end of the condition assessment.

Condition Scorecard

These ratings reflect the overall condition and level of replacement need for an entire system, in adherence with the **Facility Condition Index (FCI) System**, categorizing systems as "Good" (FCI < .25), "Fair" (FCI 0.25 – 0.50), "Poor" (FCI 0.51 – 0.85), or "Unsatisfactory" (FCI > .86).

Comments:

1 Conveying System	There is no elevator, escalator, or lift present in the building.
2 Electrical	Major electrical equipment is at or near the end of typical service life, and needs to be replaced. Lighting is in fair to poor condition and should be upgraded. 2008: Electrical repairs completed.
3 Exterior Finish	One crack in the exterior wall was observed in the Auditorium's south wall on the west end. Exterior doors and windows are generally in poor condition. The brick exterior appears to be in good condition.
4 Structure	No major deficiencies were observed. Minor cracking, typical for concrete framing, can be repaired as part of routine building maintenance. The presence of water infiltration suggests further structural investigation take place.
5 HVAC	Boiler room needs repainting in its entirety and minor floor cracks need repaired and exposed concrete floor should be sealed. This room and chiller room form a single space which requires a refrigerant monitoring system and emergency exhaust per ASHRAE 15. Boilers do not have relief valve discharge piping or an operating combustion air fan. Local pneumatic controls throughout school. Observed simultaneous heating and cooling as well as the operation of equipment without schedules. The gymnasium gets very hot in spring/summer. The Principal reports temperatures in the 100° F range in spring/summer. 2008: Repairs to boilers and classroom units completed.
6 Interior Finish	Ceilings are in poor condition. Tiles need to be replaced due to stains or damage; concrete needs to be repainted; plaster work needs repair. Flooring and walls are generally in fair condition. Some book shelves and cabinets need to be replaced. 2008: Doors and Floors replaced and repaired, painting completed.
7 Plumbing	There is no fire suppression system. All plumbing fixtures appear to be high flow types, which violates current codes. Plumbing vents and domestic water systems should be upgraded. 2008: Plumbing repairs completed.
8 Roof	The roofs appeared to drain well except for the roof area over space 156 that was covered entirely with water and needs the drains cleaned. The aluminum fascias ranged from 0"-6" high. Some cracks in the bitumen sealer at roofing joints but within the range of typical for a roof of this age. One soft spot in the insulation was felt approximately over Stair #4/Room 222. 2008: Roof repairs completed.

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9 ADA Compliance	The building is not accessible, and there is no accessible parking. Bathrooms and other facilities are not accessible. There is no visible or audible fire alarm system. This is both a building code and life safety issue.
10 Technology	Visual inspection is a limited tool for technology assessments. Generally, the equipment observed appears to be in fair condition. Upgrades should include software, networking, and dedicated climate controlled spaces to house equipment.
11 Grounds	Paved areas require the most attention. Sidewalks are cracked and curb cuts need to be added. Parking area should be resurfaced. Athletic fields require landscaping work.

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RECENT HISTORY OF MODERNIZATION

2008 STABILIZATIONS

✓	Heating Blitz - Boiler Repairs & Classrooms Units
✓	Emergency Security Repair Work (Exterior Lighting Replacements)
✓	AC Window Units Installations & Electrical Upgrades

2008 SUMMER BLITZ

✓	Site Work (Concrete Masonry, Painting, Fencing)
✓	Carpentry
✓	Doors & Windows
✓	Interior Finishes - Painting/Plastering
✓	Roof Repairs/Replacement
✓	Other Work Orders
✓	Mechanical
✓	Electrical

LEGACY PROJECTS - OTHER STABILIZATIONS

✓	Interior Renovations - Various (Swing Spaces/Libraries/Asst. Supt. Offices)
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◻ Planning
▼ Design
◆ Pre-Construction
◻ In Progress
✓ Completed

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First Floor

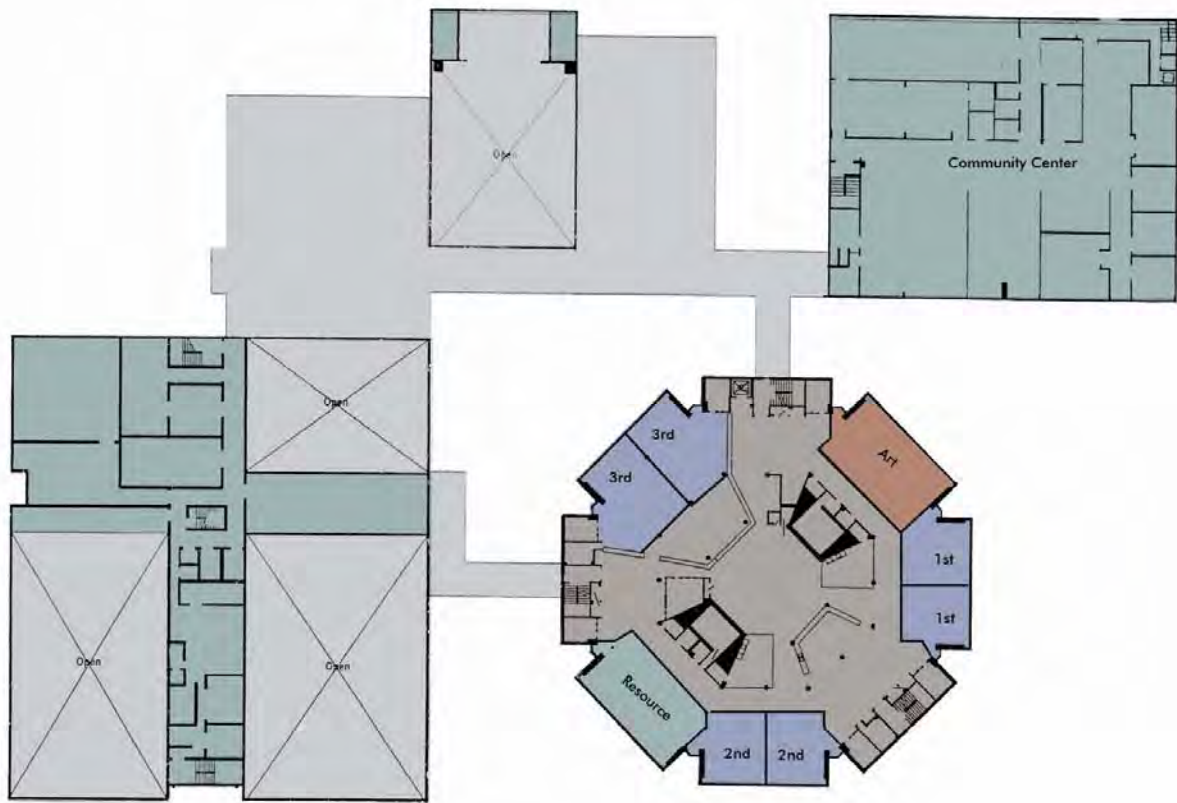
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|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
| Music/Art | Special Education |
| Science Lab | Unassigned |
| Lobby | Elevator Addition |

Concept Plans

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

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Second Floor

- | | |
|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
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Third Floor

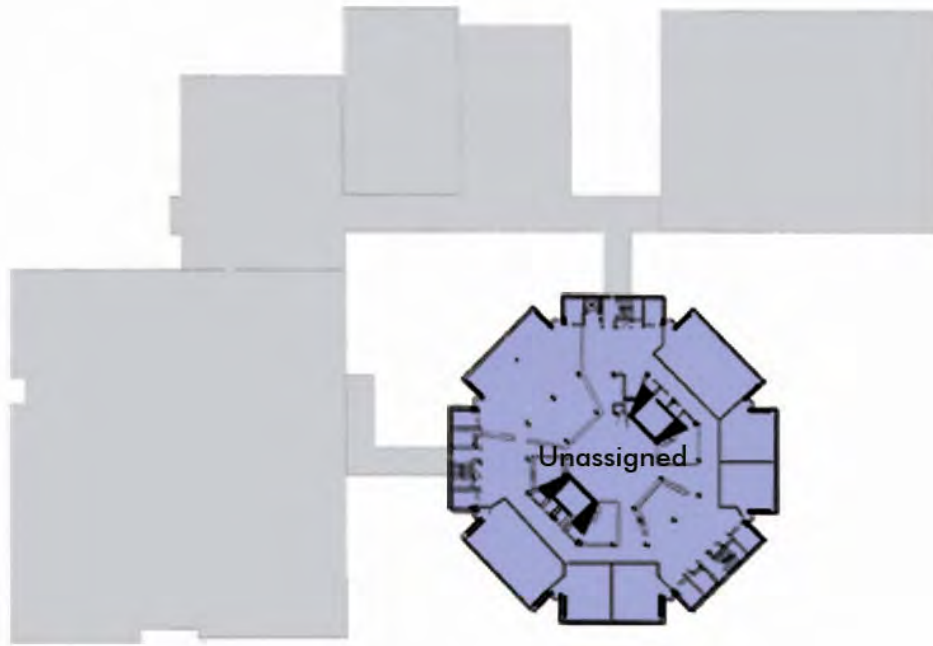
- | | |
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Fourth Floor

- | | |
|-----------------------|-------------------|
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| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
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