

GREEN ELEMENTARY SCHOOL

TURNER AT GREEN ELEMENTARY SCHOOL
1500 Mississippi Avenue, S.E., Washington, D.C.



INITIAL YEAR BUILT	1965
BUILDING AREA	77,700 SF
CURRENT PROGRAM CAPACITY	Swing
ENROLLMENT 2008	329
WARD	8
PROPOSED PROGRAM CAPACITY	500



Site Plan

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PROPOSED PROGRAM PROFILE

GRADE CONFIGURATION	PK-5
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SQ. FT. (EXISTING)	77,700
SQ. FT. (ADDITION)	

TYPE	PROPOSED
Pre-School	3
Pre-Kindergarten	3
Kindergarten	3
1	3
2	3
3	3
4	3
5	3
Gym	
Bleachers	
Locker Rooms	
Gym-Cafeteria	
Cafetorium	
Gym-Cafetorium	
Gym-Auditorium	

TYPE	PROPOSED
Auditorium	
Multi-Purpose	1
Cafeteria	
Kitchen Services	1
Special Education	3
Media Center	1
Administrative/Health	1
Computer Lab	1
OT/PT	1
Science Lab	
Art	1
Music	1
Teacher Workroom	1
Parent Resource	1

Proposed Planning Profiles

The inventory of spaces listed here is intended to outline the program of educational and support spaces necessary to support the proposed program capacity. Individual educational specifications and facility programs will be developed with the School Improvement and School Planning / Design teams at the time of project initiation.

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CONDITION ASSESSMENT



Building System	2008 Rating
ADA Compliance	Fair
Conveying Systems	Unsatisfactory
Electrical	Poor
Exterior Finish	Poor
HVAC	Fair
Interior Finish	Fair
Plumbing	Fair
Roof	Poor
Structure	Unsatisfactory
Technology	Poor

Condition Assessment

The body of information summarized below is based on a detailed facility condition assessment completed in 2006 and updated by visual observations conducted in 2007. Improvement initiatives completed by OPEFM in 2007 and 2008 are noted in red text in each section. An overall summary of work completed under various OPEFM programs is provided at the end of the condition assessment.

Condition Scorecard

These ratings reflect the overall condition and level of replacement need for an entire system, in adherence with the Facility Condition Index (FCI) System, categorizing systems as "Good" (FCI < .25), "Fair" (FCI 0.25 – 0.50), "Poor" (FCI 0.51 – 0.85), or "Unsatisfactory" (FCI > .86).

Comments:

1 Conveying System	There is no elevator, escalator, or lift present in the building.
2 Electrical	Branch wiring appears to be at the end of expected service life. Most major components require repairs or replacement. Lighting and emergency lighting are in poor condition and need to be replaced.
3 Exterior Finish	The back of the building has very poor exterior finishes. Numerous windows need to be replaced with newer models. Masonry and concrete finishes need to be repaired. 2008: Painted front entry.
4 Structure	The walls on the back of the building have exposed rusted rebar. Repairs may be performed, although replacement may be necessary. Additional structural evaluation is suggested. Water leaks into the boiler room, which can create a major problem.
5 HVAC	Almost all classroom unit ventilators are in the end of their service life. Majority of the finned tube radiators need replacement. The central boiler and chiller have been replaced recently. The cooling tower has about five years left. 2008: Repairs to boilers and classroom units completed. Window A/C units installed. Repair uni-vent (as required).
6 Interior Finish	Repair work is needed for ceiling tiles, concrete walls, and vinyl flooring. Asbestos tiles were found on site and need to be removed. Several interior doors also need repair work or replacement. 2008: Paint all interior spaces; build in main office counter, replace ceilings (as required).
7 Plumbing	Plumbing fixtures are not ADA compliant. Building code issues aside, they are also obsolete and in poor condition. The majority of the fixtures are original to the building. No fire suppression system is present. Several floor drains need to be repaired. 2008: Replaced fixtures in existing restrooms.
8 Roof	The built-up roof system is in poor condition but has some remaining life left. Flashing, gutters, and drainage systems need to be repaired to prevent standing water from infiltrating to ceilings below.
9 ADA Compliance	The building does not comply with ADA codes. Access is poor; fixtures, grab bars, and hand rails are missing; ramps and doors are inadequate. 2008: New restrooms, interior doors in newly created spaces, newly created designated 'station', and all ADA Compliant.
10 Technology	Visual inspection is a limited tool for technology assessments. Generally, the equipment observed appears to be in poor condition. Upgrades should include new televisions, software, networking, and dedicated climate controlled spaces to house equipment.
11 Grounds	The overgrowth at the rear of the athletic field renders a large portion of the field unusable for athletic activities. Paved surfaces are in poor condition in general. The playground needs to be resurfaced. Drainage is generally poor. Curbs and sidewalks are cracked and need repair work or replacement. 2008: Remove dead tree at the front entry, replace concrete walkway at front entry, cleared out rear concrete swale, replaced asphalt at rear play area, new basketball court, and cleared landscaping around upper ball field.

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RECENT HISTORY OF MODERNIZATION

2007 WHOLE SCHOOL BLITZ

✓	Interior Finishes - Door Replacements/Door Hardware Repair
✓	Interior Finishes - Drywall & Ceiling Repairs
✓	Interior Finishes - Select Carpet Replacements/Flooring Repairs
✓	Interior Finishes - Painting/Plastering
✓	Plumbing Repairs - Restrooms/Fixtures & Flush Valves; Water Fountains
✓	Electrical Repairs - Lighting & Power
✓	Mechanical Repairs - AHU & Boiler Repairs, HVAC Filter Replacement
✓	Exterior Work & Building Envelope - Lighting, Site Work, Playground, etc.
✓	Other Work Orders

2008 STABILIZATIONS

✓	Heating Blitz - Boiler Repairs & Classroom Units
✓	Emergency Security Repair Work (Exterior Lighting Replacements)

SCHOOL CONSOLIDATIONS & RECEIVING SCHOOLS (I,II)

✓	Classrooms Configurations
✓	Site Work - (Concrete Masonry, Painting, Fencing)
✓	Wood and Plastics - (Carpentry)
✓	Thermal and Moisture Protection (Roofing)
✓	Doors and Windows
✓	Finishes - (Interior Painting)
✓	Mechanical
✓	Electrical
✓	Work Orders

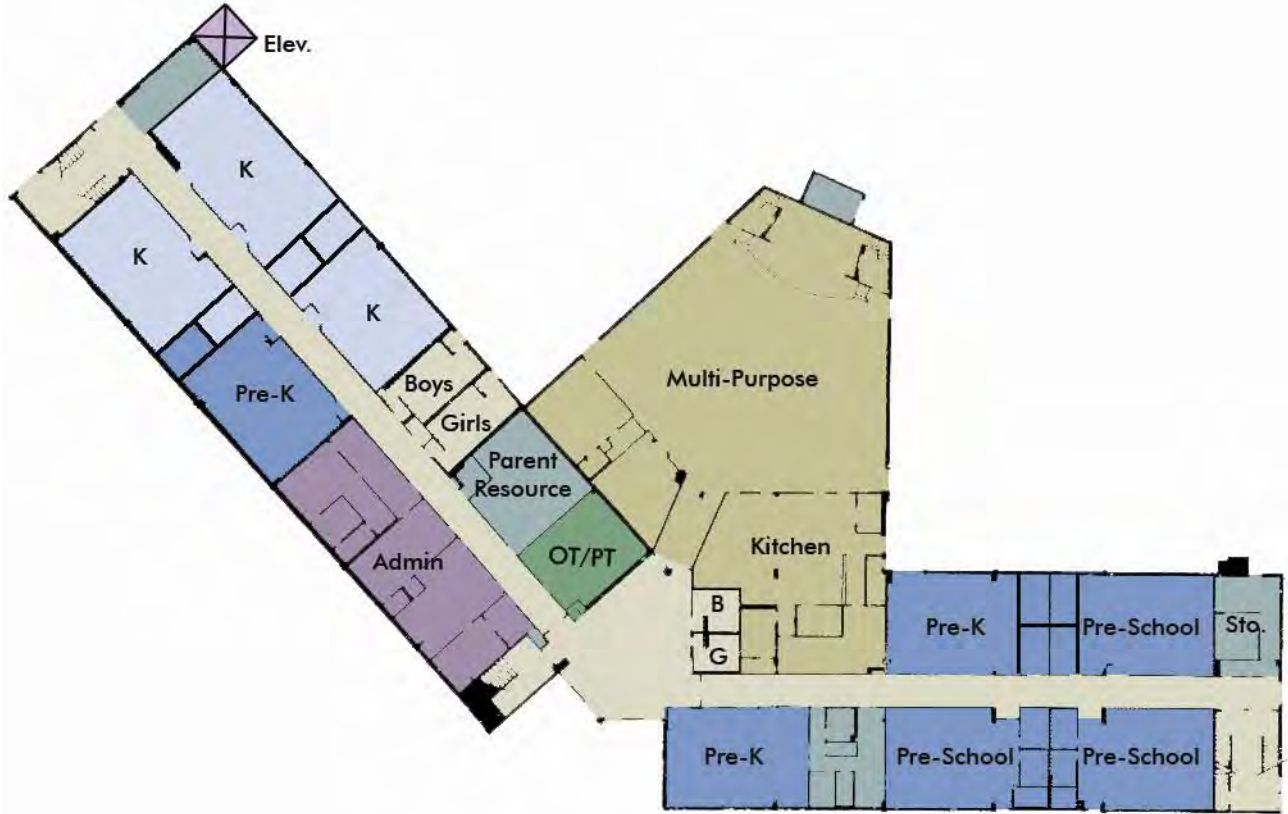
LEGACY PROJECTS - OTHER STABLIZATIONS

✓	Mechanical - Terminal Units Replacements
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◆ Planning
 ▼ Design
 ◆ Pre-Construction
 In Progress
 ✓ Completed

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First Floor

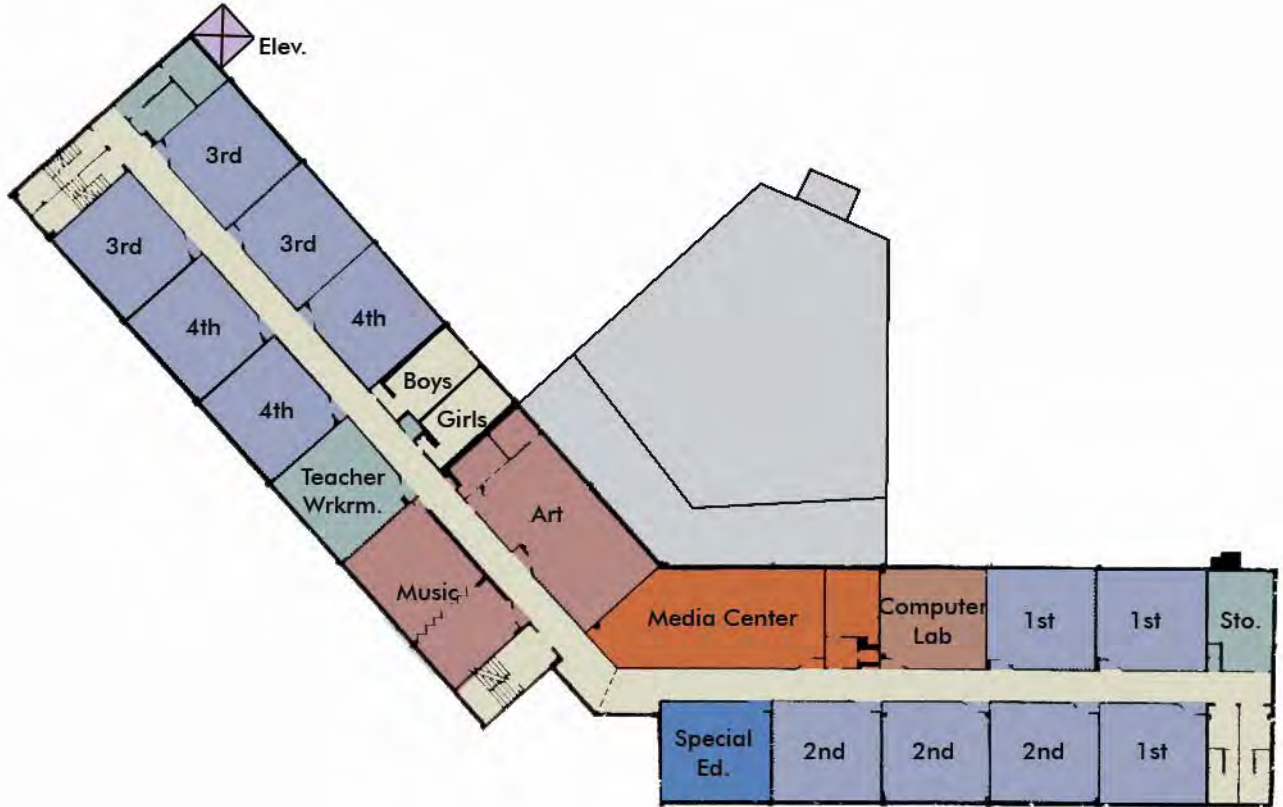
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|---------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
| Music/Art | Special Education |
| Science Lab | Unassigned |
| Lobby | Elevator Addition |

Concept Plans

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

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Second Floor

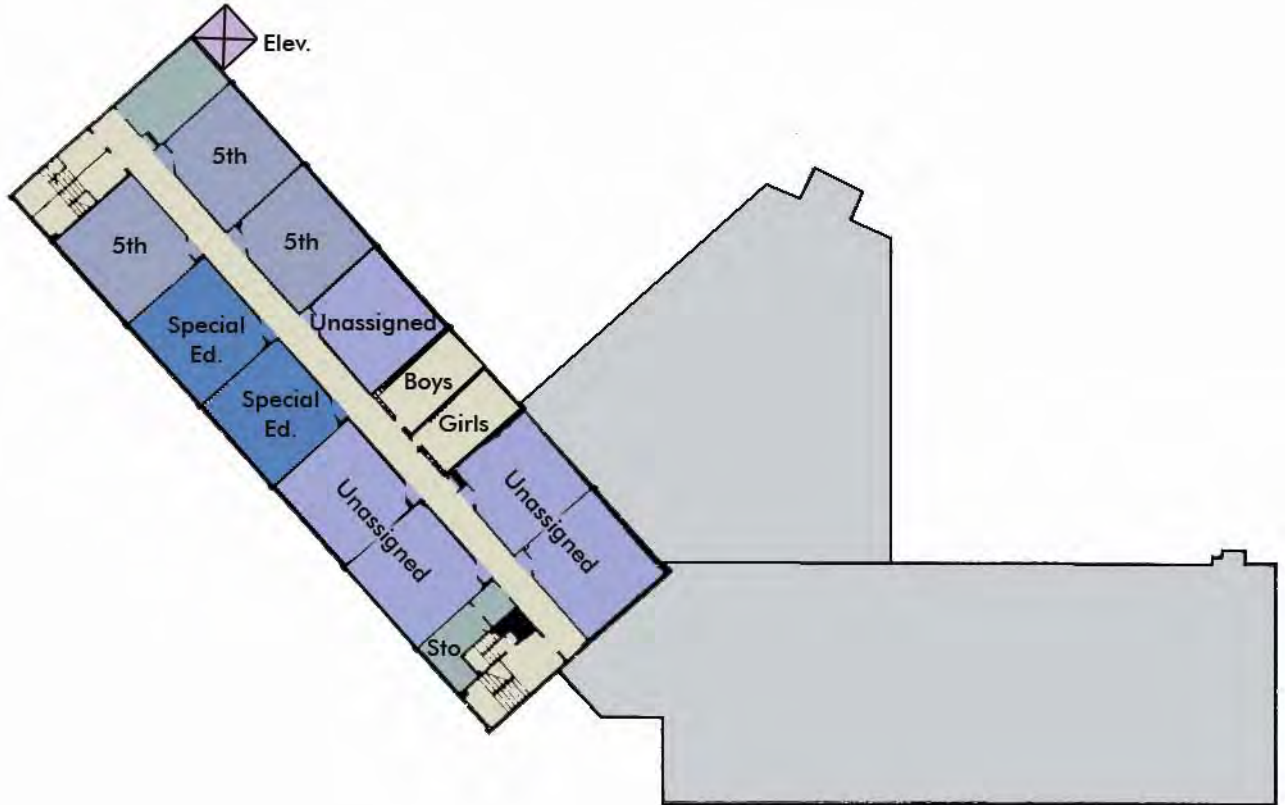
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Third Floor

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|---------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
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