

HARRIS, C.W. ELEMENTARY SCHOOL

301 53rd Street, S.E., Washington, DC



| | |
|----------------------------------|-----------|
| INITIAL YEAR BUILT | 1964 |
| BUILDING AREA | 56,000 SF |
| CURRENT PROGRAM CAPACITY | 461 |
| ENROLLMENT 2008 | 220 |
| WARD | 7 |
| PROPOSED PROGRAM CAPACITY | 325 |



Site Plan

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PROPOSED PROGRAM PROFILE

| | |
|----------------------------|------|
| GRADE CONFIGURATION | PK-5 |
|----------------------------|------|

| | |
|---------------------------|--------|
| SQ. FT. (EXISTING) | 56,000 |
| SQ. FT. (ADDITION) | |

| TYPE | PROPOSED |
|------------------|----------|
| Pre-School | 1 |
| Pre-Kindergarten | 2 |
| Kindergarten | 2 |
| 1 | 2 |
| 2 | 2 |
| 3 | 2 |
| 4 | 2 |
| 5 | 2 |
| Gym | 1 |
| Bleachers | |
| Locker Rooms | |
| Gym-Cafeteria | |
| Cafetorium | |
| Gym-Cafetorium | |
| Gym-Auditorium | |

| TYPE | PROPOSED |
|-----------------------------|----------|
| Auditorium | |
| Multi-Purpose | 1 |
| Cafeteria | |
| Kitchen Services | 1 |
| Special Education | 1 |
| Media Center | 1 |
| Administrative/Health Suite | 2 |
| Computer Lab | 1 |
| OT/PT | 1 |
| Science Lab | |
| Art | 1 |
| Music | 1 |
| Teacher Workroom | 1 |
| Parent Resource | 1 |

Proposed Planning Profiles

The inventory of spaces listed here is intended to outline the program of educational and support spaces necessary to support the proposed program capacity. Individual educational specifications and facility programs will be developed with the School Improvement and School Planning / Design teams at the time of project initiation.

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CONDITION ASSESSMENT



| <i>Building System</i> | <i>2008 Rating</i> |
|------------------------|--------------------|
| ADA Compliance | Unsatisfactory |
| Conveying Systems | Fair |
| Electrical | Fair |
| Exterior Finish | Good |
| HVAC | Good |
| Interior Finish | Fair |
| Plumbing | Fair |
| Roof | Good |
| Structure | Good |
| Technology | Fair |

Condition Assessment
The body of information summarized below is based on a detailed facility condition assessment completed in 2006 and updated by visual observations conducted in 2007. Improvement initiatives completed by OPEFM in 2007 and 2008 are noted in red text in each section. An overall summary of work completed under various OPEFM programs is provided at the end of the condition assessment.

Condition Scorecard
These ratings reflect the overall condition and level of replacement need for an entire system, in adherence with the **Facility Condition Index (FCI) System**, categorizing systems as "Good" (FCI < .25), "Fair" (FCI 0.25 – 0.50), "Poor" (FCI 0.51 – 0.85), or "Unsatisfactory" (FCI > .86).

Comments:

| | |
|---------------------------|--|
| 1 Conveying System | There is no elevator, escalator, or lift present in the building. |
| 2 Electrical | Emergency lighting is present but inadequate. Fluorescent lighting is obsolete and should be upgraded with new. Panel boards need to be replaced. Switchgear should be replaced. Service should be upgraded for improved load capacity. Public address, telephone, and fire alarm systems are obsolete and should be replaced. 2007: Lighting ballast replacement. |
| 3 Exterior Finish | All finishes look good, with the exception of exterior doors. Most need to be replaced or repaired to function properly. 2007: Exterior lighting replaced. |
| 4 Structure | No major deficiencies were observed. Minor cracking, typical for concrete framing, can be repaired as part of routine building maintenance. |
| 5 HVAC | The A/C system was upgraded in 1993 and most major components are within expected service lifetimes. However, ancillary component such as unit heaters, ductwork, and small exhaust systems need to be repaired or replaced. 2006: Chiller replacement. Cooling tower replaced new inivents, and new conveyors. 2008: Repairs to boilers and classroom units completed. 2008: 2 Window A/C units installed. |
| 6 Interior Finish | Many of the interior spaces need to be renovated. Vinyl flooring is worn and should be replaced. Large areas of ceiling tile are damaged and should be replaced with new. Interior doors are in generally in poor condition. Concrete and CMU walls need to be repainted. Drywall, ceiling repairs, door frame and hardware repair and replacement, painting. |
| 7 Plumbing | Sinks and toilets are outdated and do not comply with code. All should be replaced. Visible piping does not look deficient. Drinking fountains should be replaced with code compliant models. 2007: Plumbing fixture and flush valve replacement. |
| 8 Roof | The built-up roof system, including all flashing and membranes, is in poor condition. The underlying concrete framing appears to be in good condition. A complete tear-off and replacement is recommended. 2007: Re-roof completed. |
| 9 ADA Compliance | The building does not comply with ADA codes. Access is poor; fixtures, grab bars, and hand rails are missing; ramps and doors are inadequate. |
| 10 Technology | Visual inspection is a limited tool for technology assessments. Generally, the equipment observed appears to be in fair condition. Upgrades should include new televisions, software, networking, and dedicated climate controlled spaces to house equipment. |
| 11 Grounds | Paved areas require significant repair work. Sidewalks are cracked and curb cuts need to be added. Parking area should be resurfaced. Playground should be removed and repaved. 2008: Teachers need secure parking area. |

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RECENT HISTORY OF MODERNIZATION

2007 TARGETED REPAIRS

| | |
|---|---|
| ✓ | Interior Finishes - Door Replacements/Door Hardware Repair |
| ✓ | Interior Finishes - Drywall & Ceiling Repairs |
| ✓ | Interior Finishes - Select Carpet Replacements/Flooring Repairs |
| ✓ | Interior Finishes - Painting/Plastering |
| ✓ | Plumbing Repairs - Restrooms/Fixtures & Flush Valves; Water Fountains |
| ✓ | Electrical Repairs - Lighting & Power |
| ✓ | Mechanical Repairs - AHU & Boiler Repairs, HVAC Filter Replacement |
| ✓ | Exterior Work & Building Envelope - Lighting, Site Work, Playground, etc. |
| ✓ | Other Work Orders |

2008 STABILIZATIONS

| | |
|---|---|
| ✓ | Heating Blitz - Boiler Repairs & Classroom Units |
| ✓ | Emergency Security Repair Work (Exterior Lighting Replacements) |
| ✓ | AC Window Units Installations & Electrical Upgrades |

2008 SUMMER BLITZ

| | |
|---|---|
| ✓ | Site Work (Concrete Masonry, Painting, Fencing) |
| ✓ | Carpentry |
| ✓ | Doors & Windows |
| ✓ | Interior Finishes - Painting/Plastering |
| ✓ | Roof Repairs/Replacement |
| ✓ | Other Work Orders |
| ✓ | Mechanical |
| ✓ | Electrical |

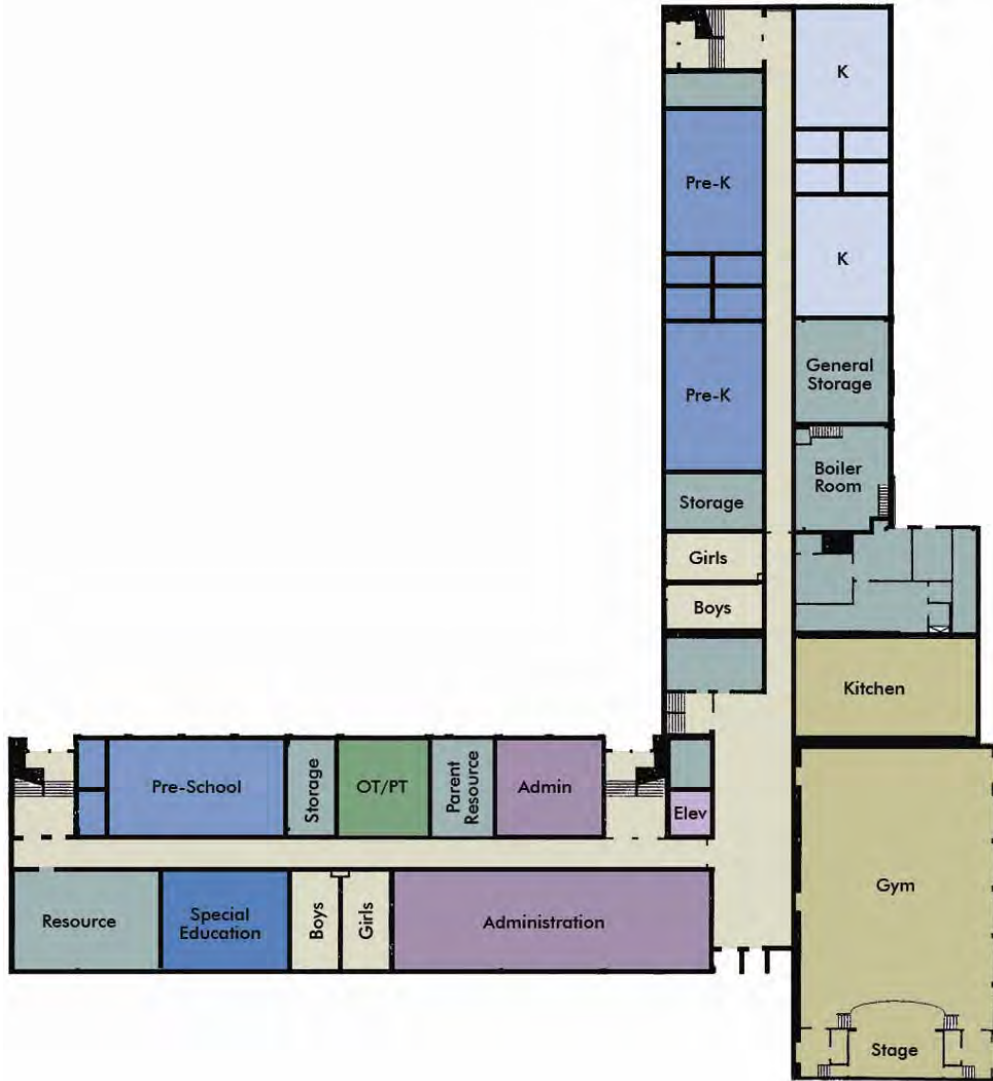
LEGACY PROJECTS - OTHER STABILIZATIONS

| | |
|---|---|
| ✓ | Interior Renovations - Various (Swing Spaces/Libraries/Asst. Supt. Offices) |
| ✓ | Mechanical Terminal Units Replacements |

◆ Planning
 ▼ Design
 ◆ Pre-Construction
 In Progress
 ✓ Completed

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First Floor

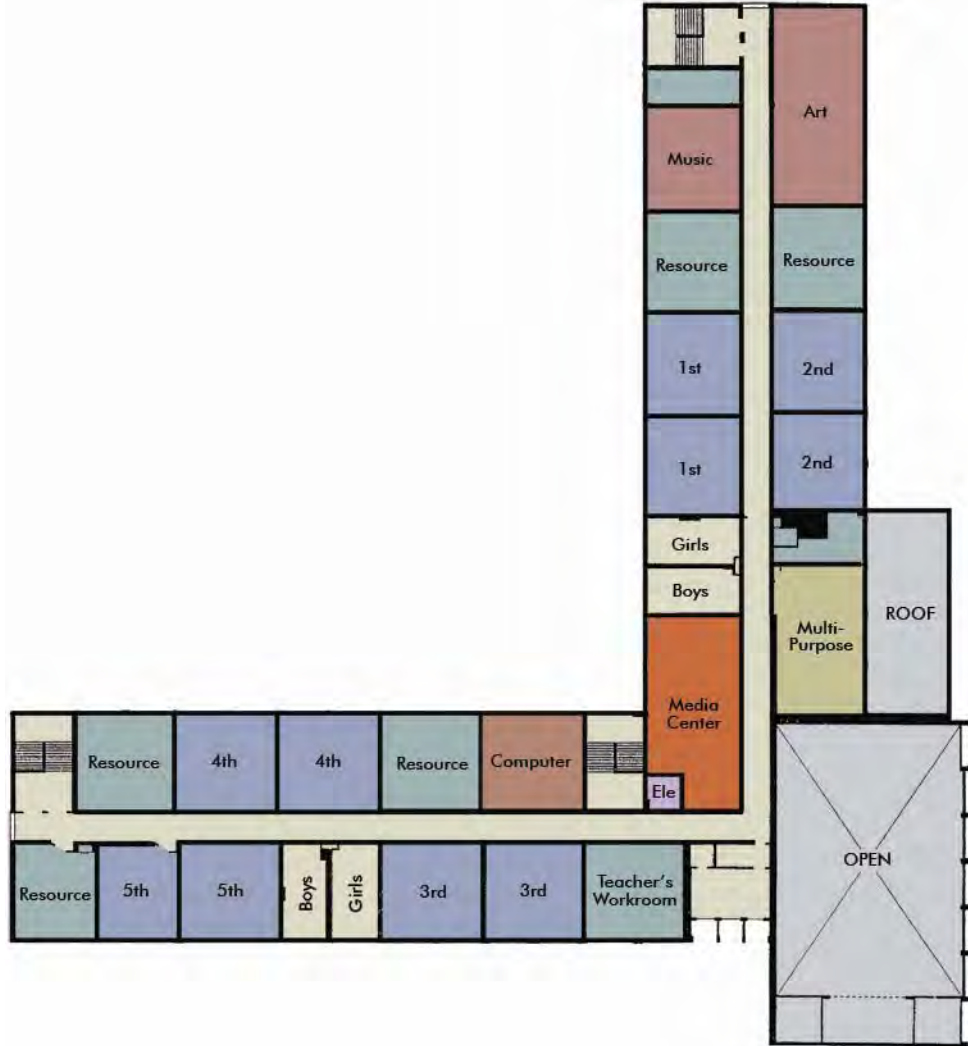
- | | |
|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
| Music/Art | Special Education |
| Science Lab | Unassigned |
| Lobby | Elevator Addition |

Concept Plans

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

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Second Floor

- | | |
|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
| Music/Art | Special Education |
| Science Lab | Unassigned |
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