

HEARST ELEMENTARY SCHOOL

3950 37th Street, N.W., Washington, DC



INITIAL YEAR BUILT	1932
BUILDING AREA	17,400 SF
CURRENT PROGRAM CAPACITY	181
ENROLLMENT 2008	164
WARD	3
PROPOSED PROGRAM CAPACITY	250



Site Plan

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PROPOSED PROGRAM PROFILE

GRADE CONFIGURATION	PK-3
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SQ. FT. (EXISTING)	17,400
SQ. FT. (ADDITION)	

TYPE	PROPOSED	TYPE	PROPOSED
Pre-School		Multi-Purpose	1
Pre-Kindergarten	1	Cafeteria	
Kindergarten	2	Kitchen Services	
1	2	Special Education	
2	2	Media Center	1
3	2	Administrative/Health Suite	1
Gym		Computer Lab	
Bleachers		OT/PT	1
Locker Rooms		Science Lab	
Gym-Cafeteria		Art	
Cafetorium		Music	
Gym-Cafetorium		Teacher Workroom	1
Gym-Auditorium		Parent Resource	
Auditorium			

Proposed Planning Profiles

The inventory of spaces listed here is intended to outline the program of educational and support spaces necessary to support the proposed program capacity. Individual educational specifications and facility programs will be developed with the School Improvement and School Planning / Design teams at the time of project initiation.

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CONDITION ASSESSMENT



<i>Building System</i>	<i>2008 Rating</i>
ADA Compliance	Unsatisfactory
Conveying Systems	Unsatisfactory
Electrical	Unsatisfactory
Exterior Finish	Poor
HVAC	Fair
Interior Finish	Poor
Plumbing	Poor
Roof	Fair
Structure	Good
Technology	Poor

Condition Assessment

The body of information summarized below is based on a detailed facility condition assessment completed in 2006 and updated by visual observations conducted in 2007. Improvement initiatives completed by OPEFM in 2007 and 2008 are noted in red text in each section. An overall summary of work completed under various OPEFM programs is provided at the end of the condition assessment.

Condition Scorecard

These ratings reflect the overall condition and level of replacement need for an entire system, in adherence with the **Facility Condition Index (FCI) System**, categorizing systems as "Good" (FCI < .25), "Fair" (FCI 0.25 – 0.50), "Poor" (FCI 0.51 – 0.85), or "Unsatisfactory" (FCI > .86).

Comments:

1 Conveying System	There is no elevator for access to upper floor.
2 Electrical	Switchboard and panel boards are old and no parts are available for repairs. 3000 Amp incoming power board cabinet and switchgear feeders are severely corroded. Branch wiring is mostly concealed and can not be inspected; visible portions indicate replacement is likely. Lighting fixtures are old and their light output is below code and school requirements. They are also not energy efficient.
3 Exterior Finish	Brick on north side needs replacement/repainting. Once wetted, wall does not dry and moisture is migrating through to the interior. Windows and doors appear worn; replacement will be required in the near term. 2008: Exterior Lighting replaced.
4 Structure	No major deficiencies were observed. Minor cracking, typical for concrete framing, can be repaired as part of routine building maintenance.
5 HVAC	The existing heating system, starting with the boiler, is approaching the end of its life expectancy. The control system for the radiators. The HVAC system needs to be upgraded to one that meets the present standards of ventilation and energy conservation. The toilet exhaust systems need to be upgraded to meet present code requirements as well. 2007: Repairs to the central A/C system, replaced filters, boiler repairs 2008: Repairs to boilers and classroom units completed. 2008: 16 Window A/C units installed.
6 Interior Finish	Exterior walls are routinely wetted by moisture from gutters, damaging the plaster; repairs will not be lasting until gutter condition is corrected. All doors need replacement. Toilet rooms need complete gutting and replacement. Multiple problems with accessibility, plumbing, sanitation and finishes.
7 Plumbing	Most faucets are in poor working conditions and need to be replaced. Water supply piping needs to be checked for any lead solder or any lead residue in the distribution system. Toilet Facilities need to be upgraded to meet ADA requirements. 2007: Plumbing fixture and valve repairs, and water cooler installation/repairs.
8 Roof	Slate tiles are in good condition, but gutters need to be replaced.
9 ADA Compliance	There is no handicapped entrance into the building. Toilet rooms are non-compliant. Doors and stairs have multiple code deficiencies.
10 Technology	School does not meet district standards. Generally, the equipment observed appears to be in poor condition. Upgrades should include software, networking, and dedicated climate controlled spaces to house equipment.
11 Grounds	Asphalt paving is beyond useful life; cracks, deterioration, unevenness make it hazardous to running children. Some plantings, a thorough cleaning and routine maintenance would make a big difference. Concrete stairs are deteriorating and need to be replaced.

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RECENT HISTORY OF MODERNIZATION

2007 TARGETED REPAIRS

✓	Interior Finishes - Door Replacements/Door Hardware Repair
✓	Interior Finishes - Drywall & Ceiling Repairs
✓	Interior Finishes - Select Carpet Replacements/Flooring Repairs
✓	Interior Finishes - Painting/Plastering
✓	Plumbing Repairs - Restrooms/Fixtures & Flush Valves; Water Fountains
✓	Electrical Repairs - Lighting & Power
✓	Mechanical Repairs - AHU & Boiler Repairs, HVAC Filter Replacement
✓	Exterior Work & Building Envelope - Lighting, Site Work, Playground, etc.
✓	Other Work Orders

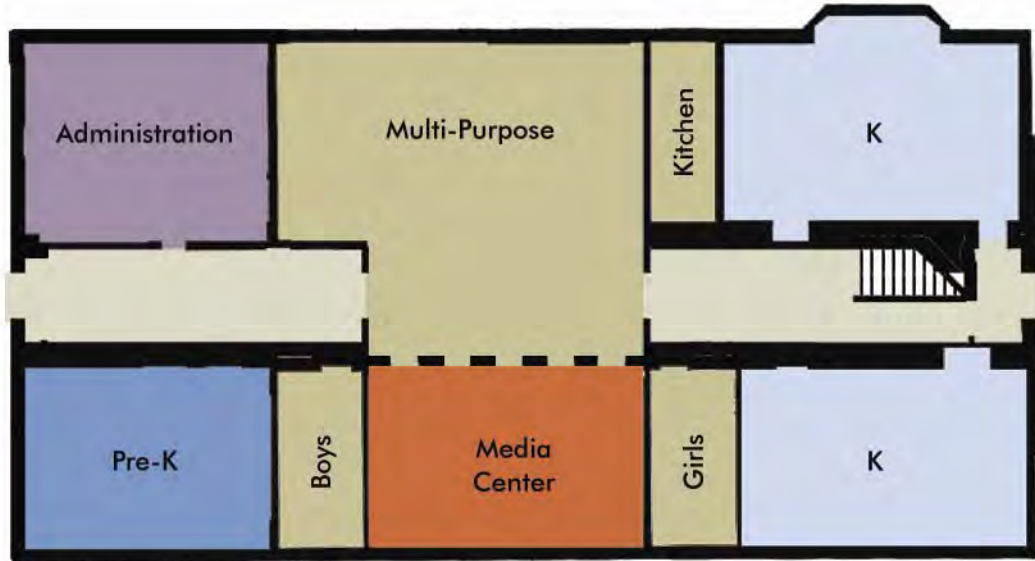
2008 STABILIZATIONS

✓	Emergency Security Repair Work (Exterior Lighting Replacements)
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◆ Planning
 ▼ Design
 ◆ Pre-Construction
 In Progress
 ✓ Completed

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First Floor

- | | |
|--|--|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
| Music/Art | Special Education |
| Science Lab | Unassigned |
| Lobby | Elevator Addition |

Concept Plans

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

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Second Floor

- | | |
|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
| Music/Art | Special Education |
| Science Lab | Unassigned |
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