

# HENDLEY ELEMENTARY SCHOOL

425 Chesapeake Street, S.E., Washington, DC



<b>INITIAL YEAR BUILT</b>	1959
<b>BUILDING AREA</b>	73,200 SF
<b>CURRENT PROGRAM CAPACITY</b>	399
<b>ENROLLMENT 2008</b>	291
<b>WARD</b>	8
<b>PROPOSED PROGRAM CAPACITY</b>	325



Site Plan

# HENDLEY ELEMENTARY SCHOOL

425 Chesapeake Street, S.E., Washington, DC

## PROPOSED PROGRAM PROFILE

<b>GRADE CONFIGURATION</b>	PK-5
----------------------------	------

<b>SQ. FT. (EXISTING)</b>	73,200
<b>SQ. FT. (ADDITION)</b>	

TYPE	PROPOSED
Pre-School	1
Pre-Kindergarten	2
Kindergarten	2
1	2
2	2
3	2
4	2
5	2
Gym	1
Bleachers	
Locker Rooms	
Gym-Cafeteria	
Cafetorium	
Gym-Cafetorium	
Gym-Auditorium	

TYPE	PROPOSED
Auditorium	
Multi-Purpose	
Cafeteria	1
Kitchen Services	1
Special Education	1
Media Center	1
Administrative	1
Computer Lab	1
OT/PT	1
Science Lab	
Art	1
Music	1
Teacher Workroom	1
Parent Resource	1

### Proposed Planning Profiles

The inventory of spaces listed here is intended to outline the program of educational and support spaces necessary to support the proposed program capacity. Individual educational specifications and facility programs will be developed with the School Improvement and School Planning / Design teams at the time of project initiation.

# HENDLEY ELEMENTARY SCHOOL

425 Chesapeake Street, S.E., Washington, DC

## CONDITION ASSESSMENT



Building System	2008 Rating
ADA Compliance	Poor
Conveying Systems	Poor
Electrical	Poor
Exterior Finish	Poor
HVAC	Poor
Interior Finish	Fair
Plumbing	Fair
Roof	Good
Structure	Fair
Technology	Poor

**Condition Assessment**

The body of information summarized below is based on a detailed facility condition assessment completed in 2006 and updated by visual observations conducted in 2007. Improvement initiatives completed by OPEFM in 2007 and 2008 are noted in red text in each section. An overall summary of work completed under various OPEFM programs is provided at the end of the condition assessment.

**Condition Scorecard**

These ratings reflect the overall condition and level of replacement need for an entire system, in adherence with the **Facility Condition Index (FCI) System**, categorizing systems as "Good" (FCI < .25), "Fair" (FCI 0.25 – 0.50), "Poor" (FCI 0.51 – 0.85), or "Unsatisfactory" (FCI > .86).

**Comments:**

<b>1 Conveying System</b>	There is a working elevator in the building, but it needs to be upgraded.
<b>2 Electrical</b>	Lights are inadequate and need to be upgraded. Public address, security, and fire alarm systems are antiquated and should be replaced with modern systems. Wiring is visibly in poor condition. Most panel boards need to be replaced.
<b>3 Exterior Finish</b>	Brick work requires maintenance such as repointing and sealing. Minor cracking will need to be repaired and trim work stripped and repainted. Exterior doors require repair work for normal function. Windows need to be replaced as well.
<b>4 Structure</b>	No major deficiencies were observed. Minor cracking, typical for concrete framing, can be repaired as part of routine building maintenance.
<b>5 HVAC</b>	All unit ventilators are at or near the end of their service life. The majority of radiators need replacement. Some exhaust fans on the roof shows signs of deterioration. Window units are used for cooling and are generally in poor condition. <b>2008: Repairs to boilers and classroom units completed. 2008: 12 Window A/C units installed.</b>
<b>6 Interior Finish</b>	Tile and plaster ceiling finishes need to be repaired. Vinyl flooring is in poor condition throughout. Large areas of CMU walls need to be repainted. <b>2007: Interior painting, flooring, and ceiling repairs.</b>
<b>7 Plumbing</b>	Plumbing fixtures are in fair conditions but they are non ADA compliant. Need minor plumbing update. Sign of leakage appears in several ceilings.
<b>8 Roof</b>	The built-up roof system appears to be at the end of expected service life. Water collects in places, allowing moisture to penetrate the building envelope. Repair work to gutters and to drains should be included in any roof replacement or repair projects. <b>2008: Roof replacement in progress</b>
<b>9 ADA Compliance</b>	Building has limited access. Most bathrooms in the building do not comply with ADA. Handrails, drinking fountains, and the elevator require modifications or upgrades to satisfy code. <b>2008: New restrooms, interior doors in newly created spaces, newly created designated 'station', and replaced fixtures in existing restrooms are all ADA Compliant.</b>
<b>10 Technology</b>	Visual inspection is a limited tool for technology assessments. Generally, the equipment observed appears to be in poor condition. Upgrades should include software, networking, and dedicated climate controlled spaces to house equipment.
<b>11 Grounds</b>	Athletic fields require significant repair. Paved areas such as the playground and parking lot are in poor condition and should be resurfaced. Mast lighting needs to be replaced. Site drainage in general is terrible. Concrete around the building is cracked and needs to be replaced. Curb cuts should be added as well.

# HENDLEY ELEMENTARY SCHOOL

425 Chesapeake Street, S.E., Washington, DC

## RECENT HISTORY OF MODERNIZATION

### 2007 WHOLE SCHOOL BLITZ

✓	Interior Finishes - Door Replacements/Door Hardware Repair
✓	Interior Finishes - Drywall & Ceiling Repairs
✓	Interior Finishes - Select Carpet Replacements/Flooring Repairs
✓	Interior Finishes - Painting/Plastering
✓	Plumbing Repairs - Restrooms/Fixtures & Flush Valves; Water Fountains
✓	Electrical Repairs - Lighting & Power
✓	Mechanical Repairs - AHU & Boiler Repairs, HVAC Filter Replacement
✓	Exterior Work & Building Envelope - Lighting, Site Work, Playground, etc.
✓	Other Work Orders

### 2008 STABILIZATIONS

✓	Heating Blitz - Boiler Repairs & Classroom Units
✓	AC Window Units Installations & Electrical Upgrades

### SCHOOL CONSOLIDATIONS & RECEIVING SCHOOLS (I,II)

✓	Classrooms Configurations
✓	Sitework - (concrete, masonry, painting, fencing)
✓	Wood and Plastics - (Carpentry)
✓	Thermal and Moisture Protection (Roofing)
✓	Doors and Windows
✓	Finishes - (Interior Painting)
✓	Mechanical
✓	Electrical
✓	Work Orders

### LEGACY PROJECTS - OTHER STABLIZATIONS

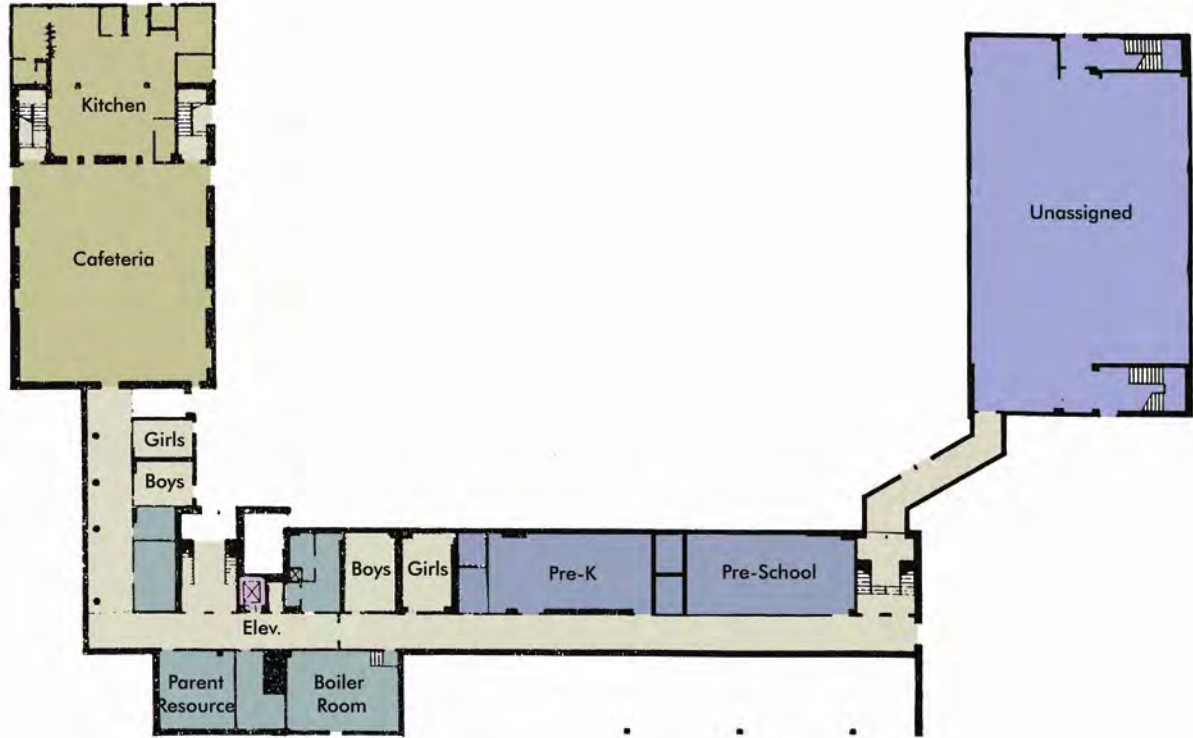
✓	Interior Renovations - Various (Swing Spaces/Libraries/Asst. Supt. Offices)
✓	Roof Replacements

◆ Planning     
 ▼ Design     
 ◆ Pre-Construction     
   In Progress     
 ✓ Completed



# HENDLEY ELEMENTARY SCHOOL

425 Chesapeake Street, S.E., Washington, DC



Ground Floor

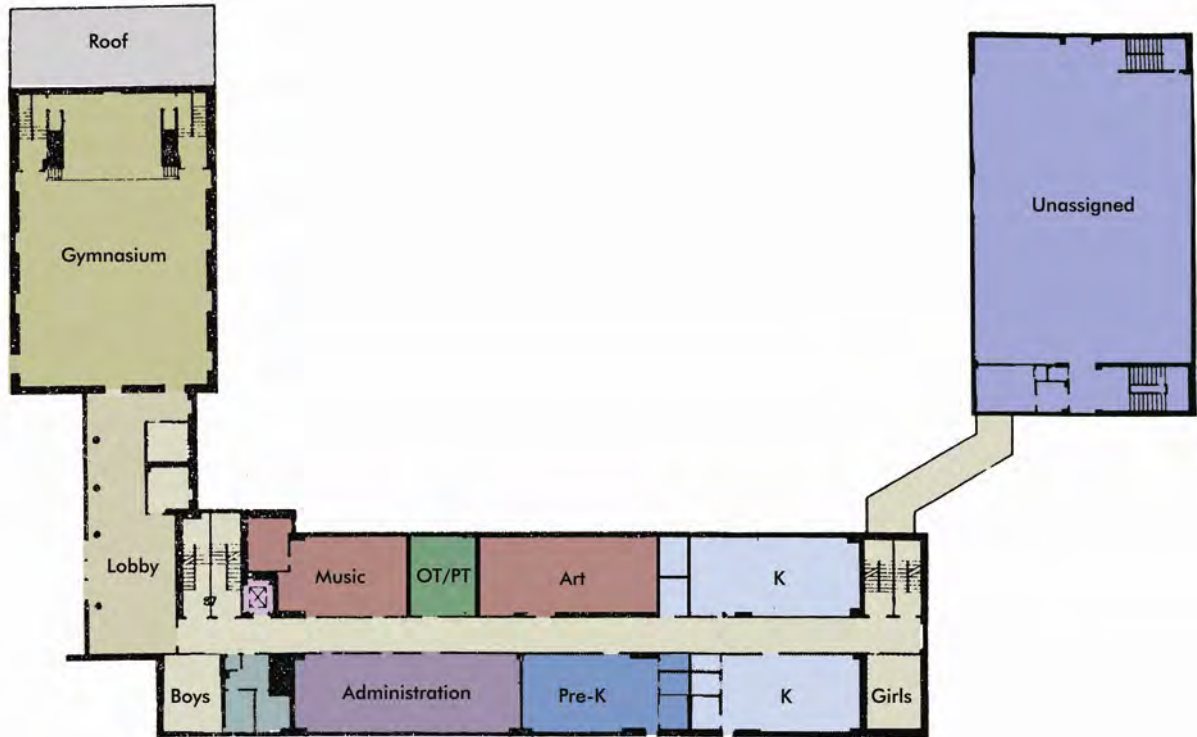
- |                       |                   |
|-----------------------|-------------------|
| Administration/Health | Auditorium        |
| Gymnasium/Cafeteria   | Other             |
| Classrooms            | Media Center      |
| Kindergarten          | Computer Lab      |
| Pre-K/Pre-School      | OT/PT             |
| Music/Art             | Special Education |
| Science Lab           | Unassigned        |
| Lobby                 | Elevator Addition |

**Concept Plans**

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

# HENDLEY ELEMENTARY SCHOOL

425 Chesapeake Street, S.E., Washington, DC



First Floor

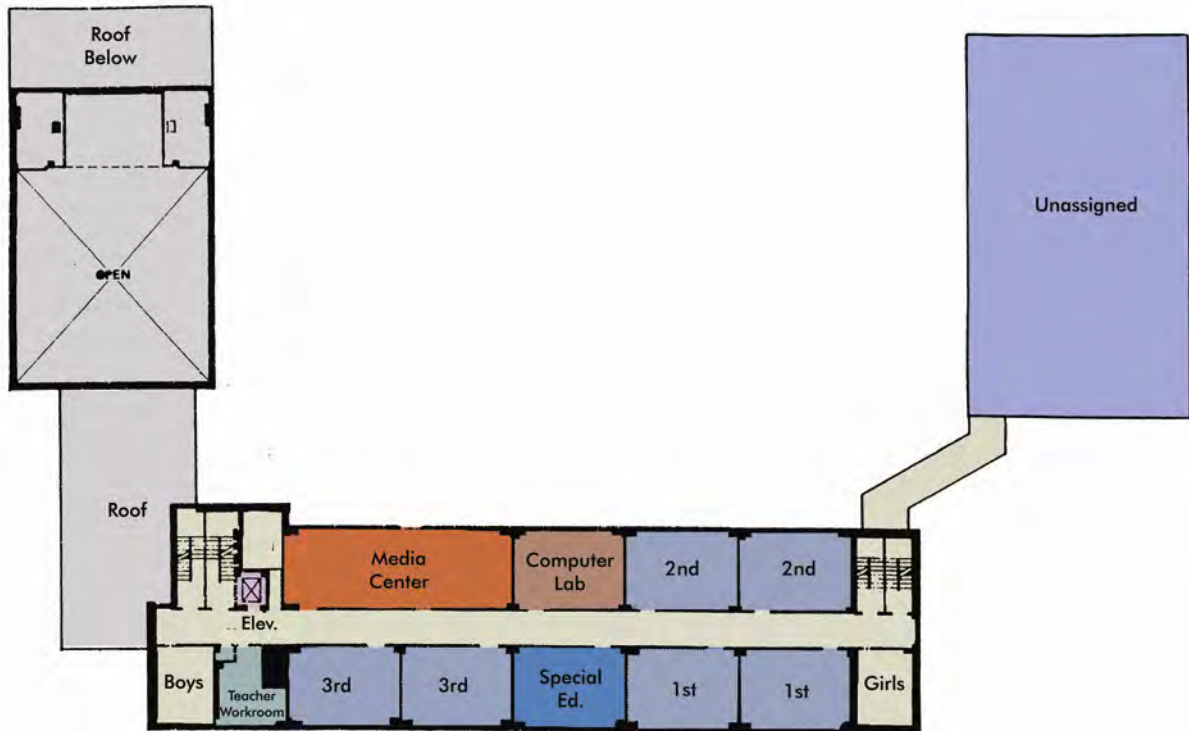
- |   |   |
|---|---|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #808080; border: 1px solid black;"></span> Administration/Health | <span style="display: inline-block; width: 15px; height: 15px; background-color: #FFD700; border: 1px solid black;"></span> Auditorium        |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #90EE90; border: 1px solid black;"></span> Gymnasium/Cafeteria   | <span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black;"></span> Other             |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #4682B4; border: 1px solid black;"></span> Classrooms            | <span style="display: inline-block; width: 15px; height: 15px; background-color: #FF8C00; border: 1px solid black;"></span> Media Center      |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black;"></span> Kindergarten          | <span style="display: inline-block; width: 15px; height: 15px; background-color: #8B4513; border: 1px solid black;"></span> Computer Lab      |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #4169E1; border: 1px solid black;"></span> Pre-K/Pre-School      | <span style="display: inline-block; width: 15px; height: 15px; background-color: #3CB371; border: 1px solid black;"></span> OT/PT             |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #CD5C5C; border: 1px solid black;"></span> Music/Art             | <span style="display: inline-block; width: 15px; height: 15px; background-color: #4169E1; border: 1px solid black;"></span> Special Education |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #2E8B57; border: 1px solid black;"></span> Science Lab           | <span style="display: inline-block; width: 15px; height: 15px; background-color: #9370DB; border: 1px solid black;"></span> Unassigned        |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #90EE90; border: 1px solid black;"></span> Lobby                 | <span style="display: inline-block; width: 15px; height: 15px; background-color: #9370DB; border: 1px solid black;"></span> Elevator Addition |

**Concept Plans**

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

# HENDLEY ELEMENTARY SCHOOL

425 Chesapeake Street, S.E., Washington, DC



Second Floor

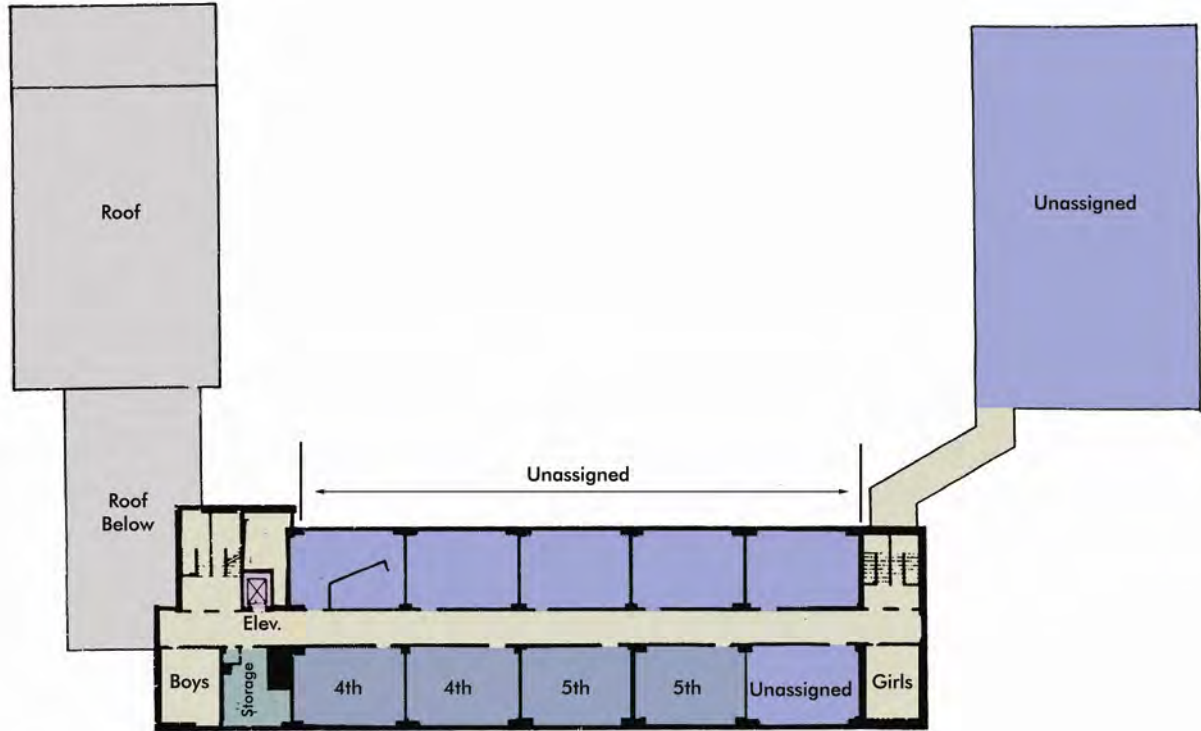
- |                       |                   |
|-----------------------|-------------------|
| Administration/Health | Auditorium        |
| Gymnasium/Cafeteria   | Other             |
| Classrooms            | Media Center      |
| Kindergarten          | Computer Lab      |
| Pre-K/Pre-School      | OT/PT             |
| Music/Art             | Special Education |
| Science Lab           | Unassigned        |
| Lobby                 | Elevator Addition |

**Concept Plans**

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

# HENDLEY ELEMENTARY SCHOOL

425 Chesapeake Street, S.E., Washington, DC



Third Floor

- |                       |                   |
|-----------------------|-------------------|
| Administration/Health | Auditorium        |
| Gymnasium/Cafeteria   | Other             |
| Classrooms            | Media Center      |
| Kindergarten          | Computer Lab      |
| Pre-K/Pre-School      | OT/PT             |
| Music/Art             | Special Education |
| Science Lab           | Unassigned        |
| Lobby                 | Elevator Addition |

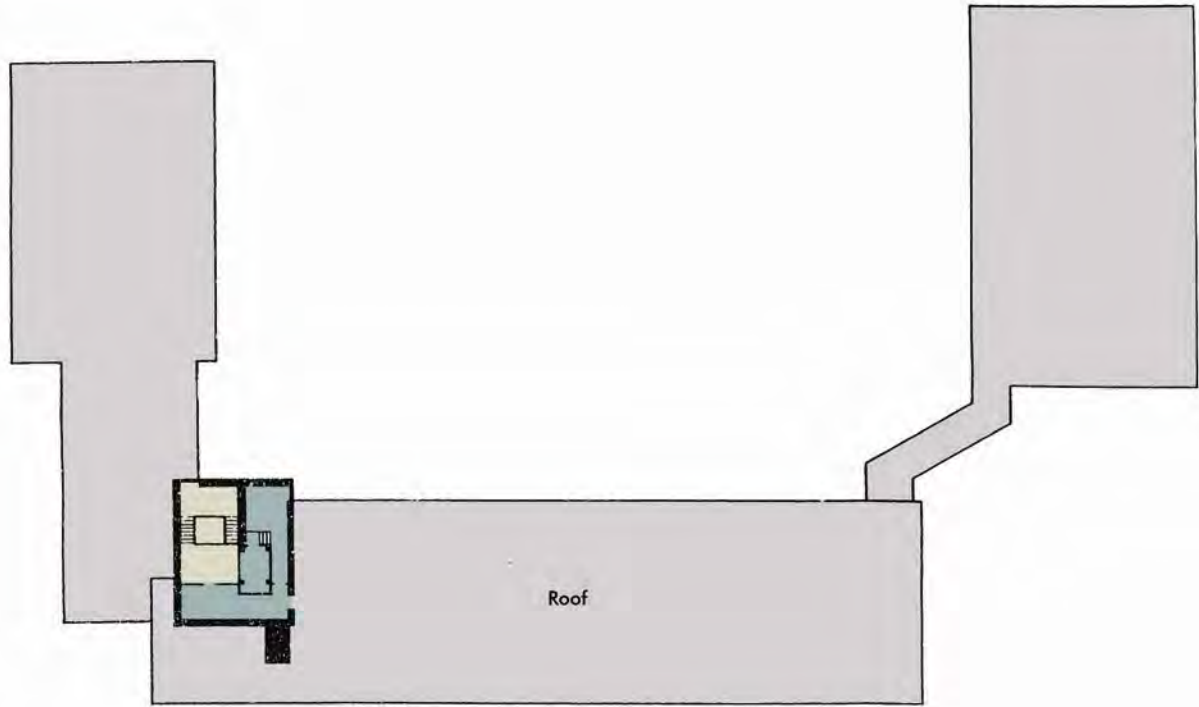
**Concept Plans**

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.



# HENDLEY ELEMENTARY SCHOOL

425 Chesapeake Street, S.E., Washington, DC



Penthouse

- |                       |                   |
|-----------------------|-------------------|
| Administration/Health | Auditorium        |
| Gymnasium/Cafeteria   | Other             |
| Classrooms            | Media Center      |
| Kindergarten          | Computer Lab      |
| Pre-K/Pre-School      | OT/PT             |
| Music/Art             | Special Education |
| Science Lab           | Unassigned        |
| Lobby                 | Elevator Addition |

### Concept Plans

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.