

KETCHAM ELEMENTARY SCHOOL

1919 15th Street, S.E., Washington, DC



INITIAL YEAR BUILT	1909
BUILDING AREA	88,300 SF
CURRENT PROGRAM CAPACITY	461
ENROLLMENT 2008	283
WARD	8
PROPOSED PROGRAM CAPACITY	325



Site Plan

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PROPOSED PROGRAM PROFILE

GRADE CONFIGURATION	PK-5
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SQ. FT. (EXISTING)	88,300
SQ. FT. (ADDITION)	

TYPE	PROPOSED
Pre-School	1
Pre-Kindergarten	2
Kindergarten	2
1	2
2	2
3	2
4	2
5	2
Gym	
Bleachers	
Locker Rooms	
Gym-Cafeteria	
Cafetorium	
Gym-Cafetorium	
Gym-Auditorium	

TYPE	PROPOSED
Auditorium	1
Multi-Purpose	2
Cafeteria	
Kitchen Services	1
Special Education	1
Media Center	1
Administrative/Health Suite	1
Computer Lab	1
OT/PT	1
Science Lab	
Art	1
Music	1
Teacher Workroom	1
Parent Resource	1

Proposed Planning Profiles

The inventory of spaces listed here is intended to outline the program of educational and support spaces necessary to support the proposed program capacity. Individual educational specifications and facility programs will be developed with the School Improvement and School Planning / Design teams at the time of project initiation.

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CONDITION ASSESSMENT



Building System	2008 Rating
ADA Compliance	Unsatisfactory
Conveying Systems	Unsatisfactory
Electrical	Unsatisfactory
Exterior Finish	Poor
HVAC	Fair
Interior Finish	Fair
Plumbing	Poor
Roof	Fair
Structure	Fair
Technology	Poor

Condition Assessment

The body of information summarized below is based on a detailed facility condition assessment completed in 2006 and updated by visual observations conducted in 2007. Improvement initiatives completed by OPEFM in 2007 and 2008 are noted in red text in each section. An overall summary of work completed under various OPEFM programs is provided at the end of the condition assessment.

Condition Scorecard

These ratings reflect the overall condition and level of replacement need for an entire system, in adherence with the **Facility Condition Index (FCI) System**, categorizing systems as "Good" (FCI < .25), "Fair" (FCI 0.25 – 0.50), "Poor" (FCI 0.51 – 0.85), or "Unsatisfactory" (FCI > .86).

Comments:

1 Conveying System	No elevators exist in the historic wing but there is an elevator in the non-historic wing which is in a poor condition.
2 Electrical	Main service, branch circuit panels, and branch circuit wiring are original and should be replaced/updated. Some of the lighting has been replaced within the past five to ten years. About 90% of the light fixtures are original and should be replaced. 2008: Electrical repairs.
3 Exterior Finish	This complex consists of two buildings; the old building which is historic and the new building. The historic section required major upgrade and rehabilitation on the façade and all the exterior walls. The new section requires only minor exterior repair. All the windows on the historic section need to be rehabilitated and repaired. These windows are original windows of 1909. The penthouse exterior walls require major upgrade. 2007: Exterior Lighting replaced. 2008: Roofing, Masonry, Re-glazing,
4 Structure	The structural condition of the penthouse is of major concern.
5 HVAC	95 % of classroom unit ventilators are in the end of their life. Majority of the finned tube radiator needs replacement. The central boiler has about five years left. No central cooling in the building. 2008: Repairs to boilers and classroom units completed. 2008: 75 Window A/C units installed.
6 Interior Finish	The interior finishes require major repair or replacement especially on the historic wing. All carpets need to be replaced. The wood floors are in very poor condition. The new wing requires padded carpeting. Interior doors are in poor condition. 2008: Ceilings, Flooring, Paint, repaired and/or replaced.
7 Plumbing	98% of plumbing fixtures are the original and they need to be updated. Fixtures are also non ADA compliant. Some restrooms are locked due to hazard condition. Some restrooms are completely out of order. 2008: Plumbing repairs.
8 Roof	The roof on the historic and the non-historic wing are in very bad condition and in need replacement.

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9 ADA Compliance	This building is not ADA compliance. It is not accessible to handicapped person and there are no handicapped restrooms or elevator.
10 Technology	Data and video is not available throughout the facility. Very few rooms where equipped with PC's and TV's. Intercom system is original and should be replaced/ modernized. The main data room is in an unconditioned space non-dedicated space.
11 Grounds	The site walls onsite are made of bricks. Several of these bricks are missing/broken/fallen off. The playground and the parking lot surfaces are asphalt and are in need of milling and resurfacing given the abundant cracks and heaving throughout.

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RECENT HISTORY OF MODERNIZATION

2008 STABILIZATIONS

✓	Emergency Security Repair Work (Exterior Lighting Replacements)
✓	AC Window Units Installations & Electrical Upgrades

2008 SUMMER BLITZ

✓	Site Work (Concrete Masonry, Painting, Fencing)
✓	Carpentry
✓	Doors & Windows
✓	Interior Finishes - Painting/Plastering
✓	Roof Repairs/Replacement
✓	Other Work Orders
✓	Mechanical
✓	Electrical

◆ Planning
▼ Design
◆ Pre-Construction
□ In Progress
✓ Completed

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Ground Floor

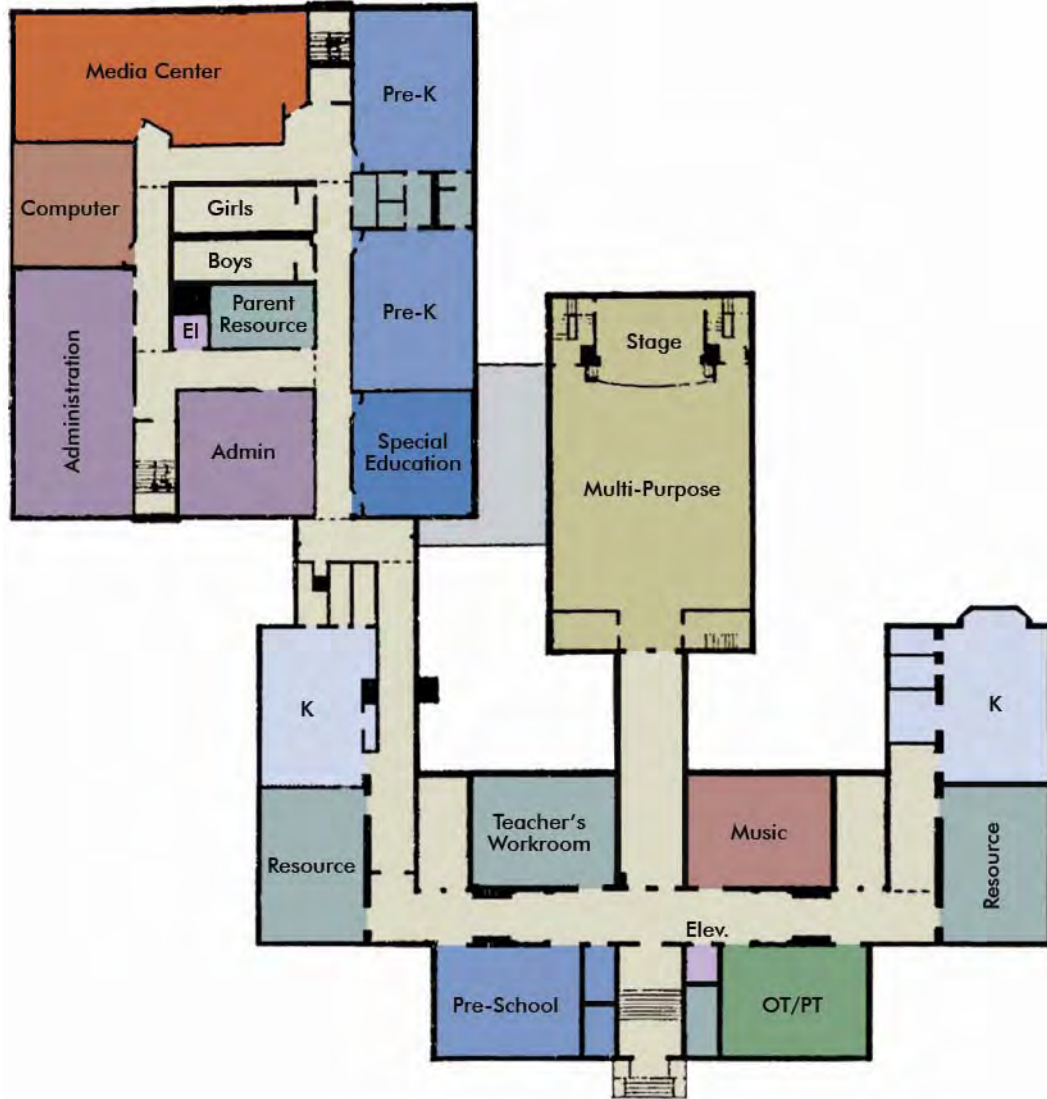
- | | |
|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
| Music/Art | Special Education |
| Science Lab | Unassigned |
| Lobby | Elevator Addition |

Concept Plans

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

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First Floor

- | | |
|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
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Second Floor

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|---|---|
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