

# WHITTIER EDUCATION CAMPUS

6201 5th Street, N.E., Washington, DC



<b>INITIAL YEAR BUILT</b>	1926
<b>BUILDING AREA</b>	66,600 SF
<b>CURRENT PROGRAM CAPACITY</b>	517
<b>ENROLLMENT 2008</b>	410
<b>WARD</b>	4
<b>PROPOSED PROGRAM CAPACITY</b>	600



Site Plan

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## PROPOSED PROGRAM PROFILE

**GRADE CONFIGURATION** PK-8

High Tech w/ Coolidge

**SQ. FT. (EXISTING)** 66,500

TYPE	PROPOSED
Pre-School	1
Pre-Kindergarten	2
Kindergarten	3
1	3
2	3
3	3
4	3
5	3
6	3
7	3
8	3
Gym	
Bleachers	
Locker Rooms	
Gym-Cafeteria	
Cafetorium	

TYPE	PROPOSED
Gym-Cafetorium	
Gym-Auditorium	
Auditorium	
Multi-Purpose	1
Cafeteria	
Kitchen Services	1
Special Education	1
Media Center	1
Administrative/Health	1
Computer Lab	1
OT/PT	1
Science Lab	2
Art	1
Music	1
Teacher Workroom	1

### Proposed Planning Profiles

The inventory of spaces listed here is intended to outline the program of educational and support spaces necessary to support the proposed program capacity. Individual educational specifications and facility programs will be developed with the School Improvement and School Planning / Design teams at the time of project initiation.

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## CONDITION ASSESSMENT



<i>Building System</i>	<i>2008 Rating</i>
ADA Compliance	Unsatisfactory
Conveying Systems	Unsatisfactory
Electrical	Good
Exterior Finish	Poor
HVAC	Poor
Interior Finish	Good
Plumbing	Poor
Roof	Unsatisfactory
Structure	Fair
Technology	Good

**Condition Assessment**

The body of information summarized below is based on a detailed facility condition assessment completed in 2006 and updated by visual observations conducted in 2007. Improvement initiatives completed by OPEFM in 2007 and 2008 are noted in red text in each section. An overall summary of work completed under various OPEFM programs is provided at the end of the condition assessment.

**Condition Scorecard**

These ratings reflect the overall condition and level of replacement need for an entire system, in adherence with the **Facility Condition Index (FCI) System**, categorizing systems as "Good" (FCI < .25), "Fair" (FCI 0.25 – 0.50), "Poor" (FCI 0.51 – 0.85), or "Unsatisfactory" (FCI > .86).

**Comments:**

<b>1 Conveying System</b>	This school building has no elevator. A new ramp exists on the west end of the original 1926 structure which leads to the first floor and multi-purpose space. An elevator with connecting bridges and a ramp would be required to make the facility and the adjacent annex fully accessible.
<b>2 Electrical</b>	The lighting fixtures are old and use T-12 lamps with electro magnetic ballasts. Future energy bills could be reduced by providing new T-8 lamps with electronic ballasts. Because of this energy savings the entire lighting is recommended to be replaced. The fire alarm system is old and recommended to be replaced with a newer technology fire alarm system. Switchboard and panel boards are the original and are recommended for replacement to provide spare power capacity. <b>2007: Electrical repairs.</b>
<b>3 Exterior Finish</b>	Repair and repaint the dentil cornice trim of the 1926 building. The windows in all the structures are original and need replaced to prevent water and drafts from entering the building. Exterior metal doors need to be replaced for better security and operational reasons. Masonry walls on the annex building need attention along the east, north and south walls with several areas of cracking and spalling at the floor lines and above window openings. More than likely this is from freeze and thaw conditions with water entering the masonry walls from the leaking windows and roofs. <b>2007: Replaced exterior lighting. Window replacement in progress.</b>
<b>4 Structure</b>	The overall foundation and structure appear sound. However, settlement cracking was seen in the fan rooms walls and ceiling above the auditorium that will need to be inspected.
<b>5 HVAC</b>	Two steam boilers provide the school's heating. Steam radiators heat the original portion of the school, while hot-water unit ventilators are used in the addition. Cooling is provided by either window-mounted air-conditioning units or portable spot coolers. Most of the steam pipes are uninsulated. Exhaust fans serving the restrooms in the addition are not functional. This building is very drafty, especially the stairwells. <b>2007: AC unit replacement. 2008: Repairs to Boilers and classroom units. Installed AC Window Units &amp; Electrical Upgrade/Repairs to AC Central Unit.</b>
<b>6 Interior Finish</b>	Several classroom spaces on the second and third floor of the 1926 building need the plaster ceilings repaired due to water damage described below. There appears to be asbestos floor tile throughout the 1968-69 Annex building which needs abated. Original corridor floors replaced with epoxy finish are warping, cracking and need to be replaced. The original terrazzo stone floors are in good condition. <b>2007: Plaster repair, painting.</b>

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<b>7 Plumbing</b>	<p>Most of the fixtures appeared to be original to the building and were significantly degraded. Most were of the high flow type and should be upgraded with ADA modifications.  <span style="color: red;">2007: Plumbing repairs.</span></p>
<b>8 Roof</b>	<p>The standing seam metal roof over the 1926 building is beyond its life cycle and needs replaced. The flat built-up SBS type roof above the Annex building and bridge connector has several low spots and poor edge conditions and needs to be replaced based on water damage to the ceiling finishes below. Although the flat SBS type roof over the auditorium had no active leaks reported during our assessment, at least half of the roof has large bubbles that could develop holes at any time and the entire roof should be replaced. Also, the cast stone coping needs the joints reworked. The roof drains and downspouts for the annex building and auditorium need checked and cleaned on a regular basis.</p>
<b>9 ADA Compliance</b>	<p>A large percentage of the enclosed classrooms and primary function areas such as the auditorium and restrooms require ADA compliant fixtures and room signage. See conveying system comments above.</p>
<b>10 Technology</b>	<p>The existing tech drops are in good condition except some places where the raceways and the outlets are loose at the walls and these should be repaired. The Security system is new and is in good in working condition.</p>
<b>11 Grounds</b>	<p>The play structures are less than one year old and appear to be in excellent condition. New intermediate level play equipment is still needed at this facility. The flat paved areas to the west of the schools could be either removed or covered with a drainable soft playing surface.</p>

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## RECENT HISTORY OF MODERNIZATION

### 2007 WHOLE SCHOOL BLITZ

✓	Interior Finishes - Painting/Plastering
✓	Plumbing Repairs - Restrooms/Fixtures & Flush Valves; Water Fountains
✓	Electrical Repairs - Lighting & Power
✓	Mechanical Repairs - AHU & Boiler Repairs, HVAC Filter Replacement
✓	Other Work Orders

### 2008 STABILIZATIONS

✓	Emergency Security Repair Work (Exterior Lighting Replacements)
✓	AC Window Units Installations & Electrical Upgrades

### SCHOOL CONSOLIDATIONS & RECEIVING SCHOOLS (I,II)

✓	Classrooms Configurations
✓	Site Work - (concrete, masonry, painting, fencing)
✓	Wood and Plastics - (Carpentry)
✓	Thermal and Moisture Protection (Roofing)
✓	Doors and Windows
✓	Finishes - (Interior Painting)
✓	Mechanical
✓	Electrical
✓	Work Orders

### LEGACY PROJECTS - OTHER STABLIZATIONS

<input type="checkbox"/>	Window Replacements
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🟡 Planning
🟢 Design
🟣 Pre-Construction
🟦 In Progress
🟩 Completed

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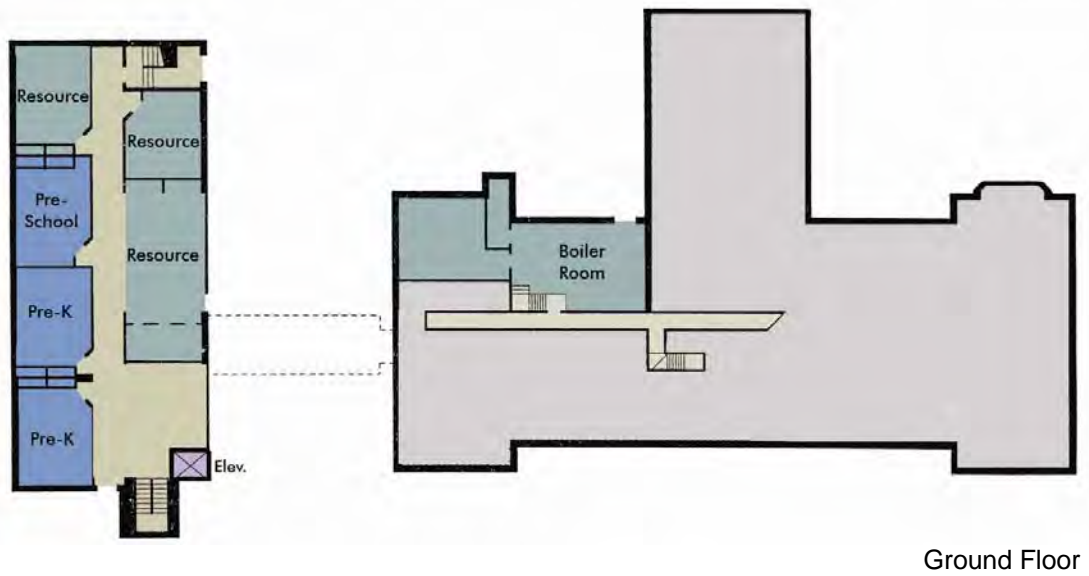
## 2008 SUMMER BLITZ

✓	Site Work (Concrete Masonry, Painting, Fencing)
✓	Carpentry
✓	Doors & Windows
✓	Interior Finishes - Painting/Plastering
✓	Roof Repairs/Replacement
✓	Other Work Orders
✓	Mechanical
✓	Electrical

🟡 Planning    
 🟢 Design    
 🟠 Pre-Construction    
 🟩 In Progress    
 ✓ Completed

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- |                       |                   |
|-----------------------|-------------------|
| Administration/Health | Auditorium        |
| Gymnasium/Cafeteria   | Other             |
| Classrooms            | Media Center      |
| Kindergarten          | Computer Lab      |
| Pre-K/Pre-School      | OT/PT             |
| Music/Art             | Special Education |
| Science Lab           | Unassigned        |
| Lobby                 | Elevator Addition |

### Concept Plans

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

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First Floor

- |   |   |
|---|---|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #808080; border: 1px solid black;"></span> Administration/Health | <span style="display: inline-block; width: 15px; height: 15px; background-color: #FF8C00; border: 1px solid black;"></span> Auditorium        |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #90EE90; border: 1px solid black;"></span> Gymnasium/Cafeteria   | <span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black;"></span> Other             |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #4682B4; border: 1px solid black;"></span> Classrooms            | <span style="display: inline-block; width: 15px; height: 15px; background-color: #FF4500; border: 1px solid black;"></span> Media Center      |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black;"></span> Kindergarten          | <span style="display: inline-block; width: 15px; height: 15px; background-color: #8B4513; border: 1px solid black;"></span> Computer Lab      |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #4169E1; border: 1px solid black;"></span> Pre-K/Pre-School      | <span style="display: inline-block; width: 15px; height: 15px; background-color: #3CB371; border: 1px solid black;"></span> OT/PT             |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #A52A2A; border: 1px solid black;"></span> Music/Art             | <span style="display: inline-block; width: 15px; height: 15px; background-color: #4169E1; border: 1px solid black;"></span> Special Education |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #2E8B57; border: 1px solid black;"></span> Science Lab           | <span style="display: inline-block; width: 15px; height: 15px; background-color: #9370DB; border: 1px solid black;"></span> Unassigned        |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #90EE90; border: 1px solid black;"></span> Lobby                 | <span style="display: inline-block; width: 15px; height: 15px; background-color: #9370DB; border: 1px solid black;"></span> Elevator Addition |

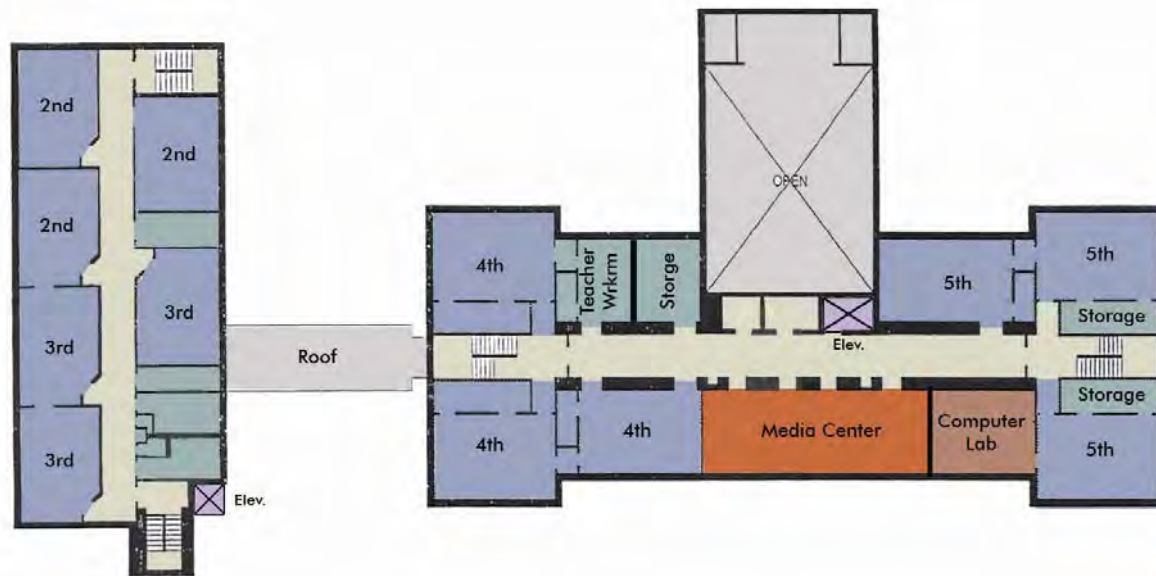
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Second Floor

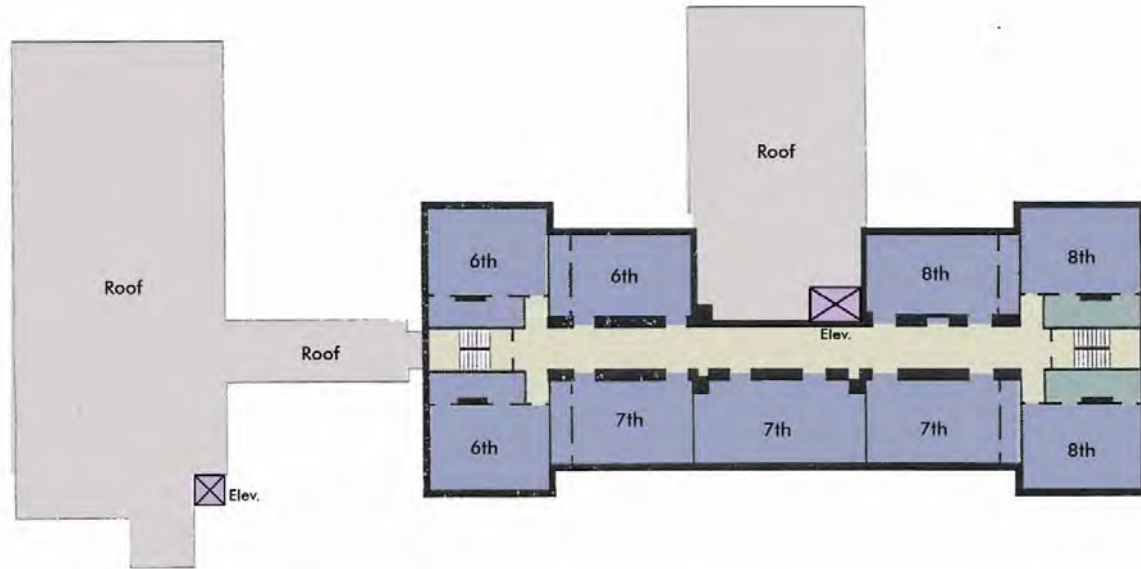
 Administration/Health	 Auditorium
 Gymnasium/Cafeteria	 Other
 Classrooms	 Media Center
 Kindergarten	 Computer Lab
 Pre-K/Pre-School	 OT/PT
 Music/Art	 Special Education
 Science Lab	 Unassigned
 Lobby	 Elevator Addition

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Third Floor

- |   |   |
|---|---|
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #808080; border: 1px solid black;"></span> Administration/Health | <span style="display: inline-block; width: 15px; height: 15px; background-color: #FF8C00; border: 1px solid black;"></span> Auditorium        |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #9ACD32; border: 1px solid black;"></span> Gymnasium/Cafeteria   | <span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black;"></span> Other             |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #4682B4; border: 1px solid black;"></span> Classrooms            | <span style="display: inline-block; width: 15px; height: 15px; background-color: #FF4500; border: 1px solid black;"></span> Media Center      |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black;"></span> Kindergarten          | <span style="display: inline-block; width: 15px; height: 15px; background-color: #8B4513; border: 1px solid black;"></span> Computer Lab      |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #4169E1; border: 1px solid black;"></span> Pre-K/Pre-School      | <span style="display: inline-block; width: 15px; height: 15px; background-color: #3CB371; border: 1px solid black;"></span> OT/PT             |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #A52A2A; border: 1px solid black;"></span> Music/Art             | <span style="display: inline-block; width: 15px; height: 15px; background-color: #0000FF; border: 1px solid black;"></span> Special Education |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #2E8B57; border: 1px solid black;"></span> Science Lab           | <span style="display: inline-block; width: 15px; height: 15px; background-color: #9370DB; border: 1px solid black;"></span> Unassigned        |
| <span style="display: inline-block; width: 15px; height: 15px; background-color: #90EE90; border: 1px solid black;"></span> Lobby                 | <span style="display: inline-block; width: 15px; height: 15px; background-color: #9370DB; border: 1px solid black;"></span> Elevator Addition |

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