

JEFFERSON MIDDLE SCHOOL

801 7th Street, S.W., Washington, DC



INITIAL YEAR BUILT	1940
BUILDING AREA	109,000 SF
CURRENT PROGRAM CAPACITY	900
ENROLLMENT 2008	431
WARD	6
PROPOSED PROGRAM CAPACITY	550



Site Plan

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PROPOSED SCHOOL PROFILE

GRADE CONFIGURATION	MS (6-8)
High Tech Program OCTO GIS Administration	
SQ. FT. (EXISTING)	109,000
SQ. FT. (ADDITION)	

TYPE	PROPOSED
6	8
7	8
8	8
Gym	1
Bleachers	
Locker Rooms	2
Gym-Cafeteria	
Cafetorium	
Gym-Cafetorium	
Gym-Auditorium	
Auditorium	1
Multi-Purpose	

TYPE	PROPOSED
Cafeteria	1
Kitchen Services	1
Special Education	6
Media Center	1
Administrative/Health	1
Computer Lab	1
OT/PT	1
Science Lab	3
Art	2
Music	2
Teacher Workroom	2
Parent Resource	1

Proposed Planning Profiles

The inventory of spaces listed here is intended to outline the program of educational and support spaces necessary to support the proposed program capacity. Individual educational specifications and facility programs will be developed with the School Improvement and School Planning / Design teams at the time of project initiation.

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CONDITION ASSESSMENT



<i>Building System</i>	<i>2008 Rating</i>
ADA Compliance	Unsatisfactory
Conveying Systems	Unsatisfactory
Electrical	Poor
Exterior Finish	Fair
HVAC	Fair
Interior Finish	Fair
Plumbing	Poor
Roof	Poor
Structure	Poor
Technology	Fair

Comments:

1 Conveying System	Original elevator cab and machinery is obsolete and represents a health safety issue. As it exists, it is not building code or ADA compliant.
2 Electrical	Numerous code violations observed. There is no source of emergency power. The fire alarm system is inadequate and not ADA compliant. Exposed, incandescent lighting is common and should be replaced with modern, energy efficient fluorescent lighting.
3 Exterior Finish	Limestone façade elements at building base and cornice require repainting. The masonry façade needs minor repointing as well. Exterior windows have been mostly replaced and are in good condition. The remaining windows should be replaced. 2007: Replaced exterior lighting, window hardware completed
4 Structure	The concrete appears to be in sound condition; however, signs of water infiltration suggest that a more thorough analysis be performed.
5 HVAC	Steam classroom ventilators, convectors, and radiators throughout the building should be modernized or updated. There is no chiller or building-wide cooling system in place. Window units are present in many classrooms and are generally in good shape, although they typically have a shorter service lifespan than a well maintained comprehensive system. 2007: Boiler repairs exhaust fans, heating unit repairs. All Classrooms have heat. 2008: Repairs to boilers and classroom heating units. Installed 1 A/C window unit.
6 Interior Finish	Asbestos composition tiles remain present on some of the floor surfaces, a clear health safety issue. Moisture damage is visible in one quarter of ceiling tiles, also a clear health safety issue. Half of all doors and door hardware are in disrepair and should be replaced. Interior finishes throughout are old and worn. 2007: Painting, window hardware completed. 2008: Cleaning, Ceiling, Floors, Paint, Plumbing and electrical work completed.
7 Plumbing	There is no fire sprinkler system present. Gym showers are in disrepair, lavatory fixtures are old and do not meet modern code requirements. 2007: Snaking of clogged drains.
8 Roof	Though about 40% of the roofing area is in fair condition, the other 60% is in unsatisfactory condition. The entire roof should be replaced at one time in order to minimize damage due to water infiltration. 2007: Roof leak repairs, skylight reglazing. 2008: Roof stabilized.
9 ADA Compliance	Building does not meet ADA requirements. Non ADA compliant fixtures are present throughout; drinking fountains, hand rails, ramps, doors, switches, alarms, and proper conveying are all absent from the building.
10 Technology	Visual inspection is a limited tool for technology assessments. Generally, the equipment observed appears to be in fair condition. Upgrades should include software, networking, and climate controlled spaces to house equipment.
11 Grounds	No compliant ADA accessible entrance. The majority of exit egress doors are bolted and locked shut. All steps from exit doors lack code compliant rails. The limestone steps require complete repainting with 20% requiring repair work as well; about 20% of all concrete should be repainted. The parking area needs to be completely repaved. The playground area at tennis court is vacant.

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RECENT HISTORY OF MODERNIZATION

2008 STABILIZATIONS

✓ AC Window Units Installations & Electrical Upgrades

◊ Planning

▼ Design

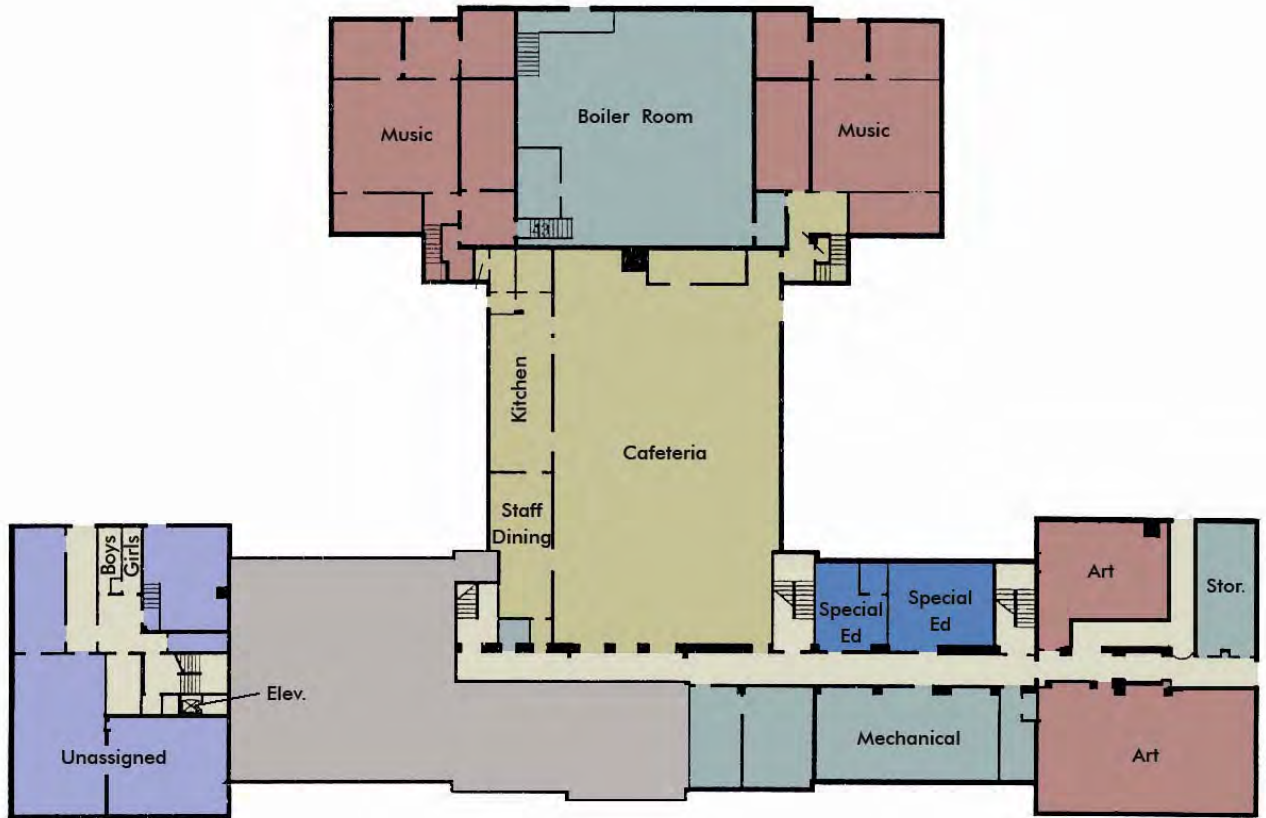
◆ Pre-Construction

◻ In Progress

✓ Completed

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Basement

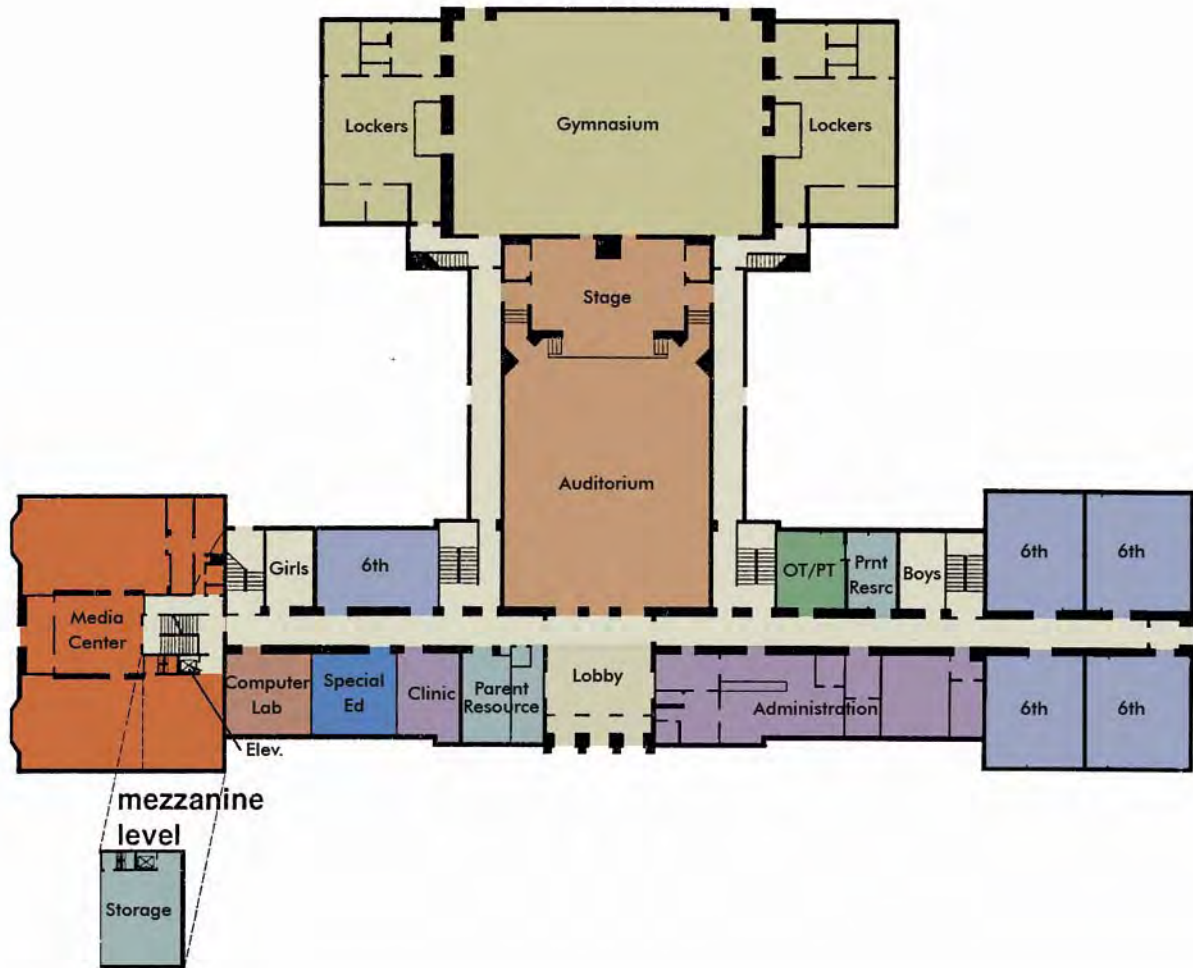
- | | |
|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
| Music/Art | Special Education |
| Science Lab | Unassigned |
| Lobby | Elevator Addition |

Concept Plans

These floor plans represent planning concepts for proposed facility use, aligning the proposed program capacity, the proposed planning profiles, and the conceptual reconfiguration of the building. Each project is subject to a formal design process, incorporating input from the School Improvement team at the time of project initiation.

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First Floor

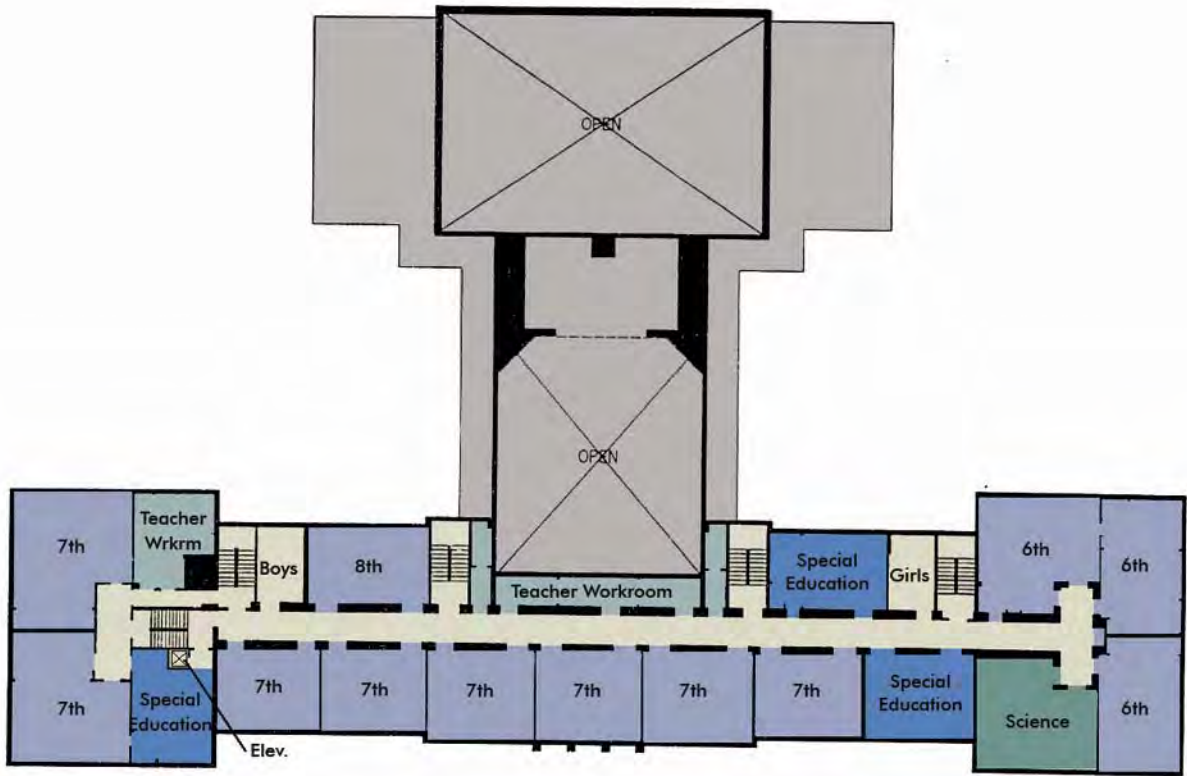
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Second Floor

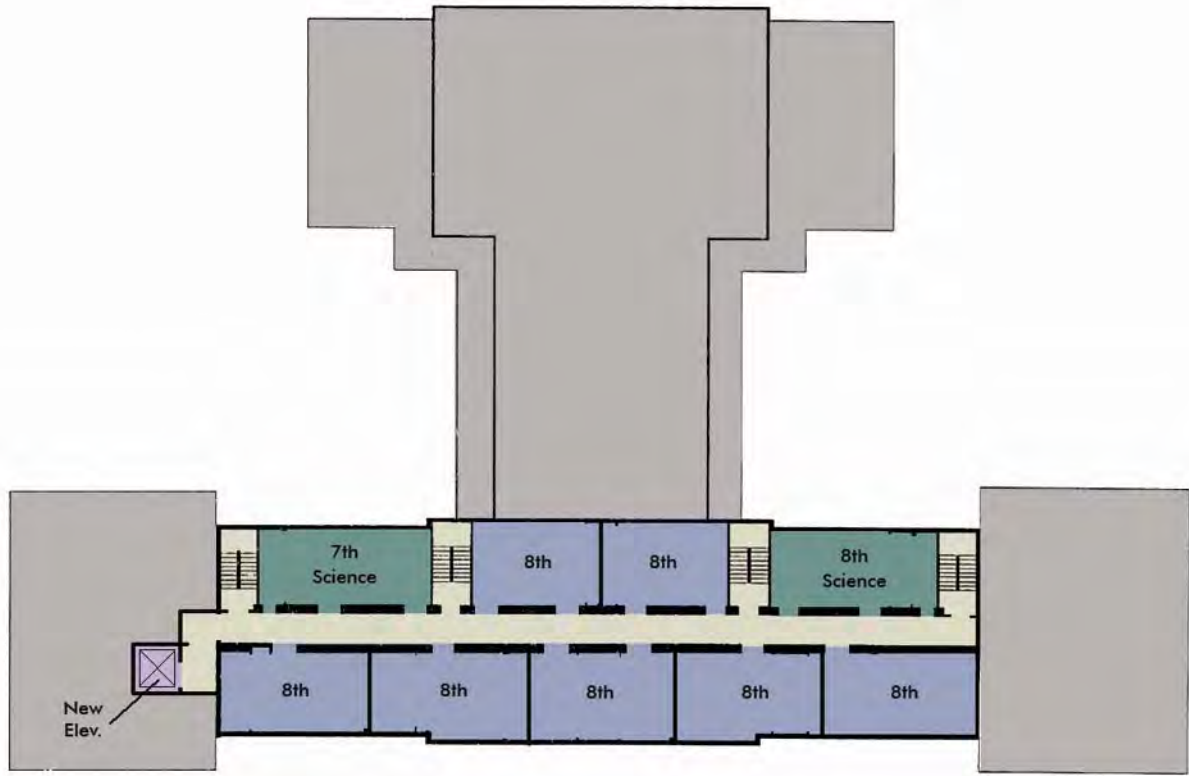
- | | |
|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
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Third Floor

- | | |
|---|---|
| Administration/Health | Auditorium |
| Gymnasium/Cafeteria | Other |
| Classrooms | Media Center |
| Kindergarten | Computer Lab |
| Pre-K/Pre-School | OT/PT |
| Music/Art | Special Education |
| Science Lab | Unassigned |
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